

Title	Planning Applications
To:	Planning Control Committee
On:	19 February 2019
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Township Forum - Ward: Prestwich - St Mary's	App No. 63374
	Location: Land at rear of 27 Duckworth Road, Prestwich, Manchester, M25 9GF	
	Proposal: Erection of 1 no. dwelling	
	Recommendation: Approve with Conditions	Site Visit: Y
<hr/>		
02	Township Forum - Ward: North Manor	App No. 63388
	Location: Bleaklow Hall, Bolton Road, Tottington, Bury, BL8 4JF	
	Proposal: Demolition of existing bungalow and erection of 4 no. dwellings with associated parking and access	
	Recommendation: Approve with Conditions	Site Visit: Y
<hr/>		
03	Township Forum - Ward: Prestwich - St Mary's	App No. 63466
	Location: 255 Bury New Road, Prestwich, Manchester, M25 9PB	
	Proposal: Retention of existing A3 cafe/restaurant use with extended opening hours and new glazed balustrade around existing forecourt area.	
	Recommendation: Approve with Conditions	Site Visit: N
<hr/>		
04	Township Forum - Ward: Bury East	App No. 63520
	Location: 14-16 St Marys Place, Bury, BL9 0DZ	
	Proposal: Change of use from massage institute (Class D1) to 2 no. 7-bed houses of multiple occupation (HMO); External alterations to include replacement windows/doors, bicycle/bin storage at rear and boundary wall/gates at rear	
	Recommendation: Approve with Conditions	Site Visit: N
<hr/>		
05	Township Forum - Ward: Bury East	App No. 63521
	Location: 14-16 St Marys Place, Bury, BL9 0DZ	
	Proposal: Listed Building Consent for change of use from massage institute (Class D1) to 2 no. 7-bed houses of multiple occupation (HMO) with internal alterations and external alterations to include replacement windows/doors, bicycle/bin storage at rear and boundary wall/gates at rear.	
	Recommendation: Approve with Conditions	Site Visit: N
<hr/>		
06	Township Forum - Ward: Prestwich - St Mary's	App No. 63534
	Location: Site of former Park Hotel, Lowther Road, Prestwich, Manchester, M25 9GP	
	Proposal: Residential development comprising of 7 no. 2 storey houses, 12 no. apartments, 21 parking spaces and associated amenity spaces	
	Recommendation: Minded to Approve	Site Visit: Y
<hr/>		

07 **Township Forum - Ward:** Bury East

App No. 63589

Location: 8 Bolton Street, Bury, BL9 0LQ

Proposal: Change of use from estate agents (Class A2) to private hire taxi booking office (Sui Generis)

Recommendation: Approve with Conditions

Site Visit: N

Ward: Prestwich - St Mary's

Item 01

Applicant: Ms Zofia Moghimi

Location: Land at rear of 27 Duckworth Road, Prestwich, Manchester, M25 9GF

Proposal: Erection of 1 no. dwelling

Application Ref: 63374/Full

Target Date: 10/12/2018

Recommendation: Approve with Conditions

Description

The application site is located between Nos 24 and 26 Lowther Road. The site contains a detached garage at the rear of the site with an area of hardstanding between the garage and Lowther Road. The garage is constructed from a mix of brick and breezeblock and there are 2 metre high timber fences to the north and south boundaries. There are no trees in the application site, but there are trees in the adjacent residential gardens. There are metal railings and gates along the footpath with Lowther Road. Vehicular access is taken from Lowther Road.

The site is bounded by residential properties. No. 24 is approximately 0.5 metre lower than the application site and No. 26 is approximately 0.5 metre higher than the application site.

The proposed development involves the demolition of the single storey building on site and the erection of a dwelling. The proposed development would be single storey with living space in the roof. The proposed development would be constructed from brick with a slate roof. There would be a pitched roof for the front part of the proposed dwelling and a flat roof at the rear. Access would be taken from Lowther Road.

Relevant Planning History

02176/E - Proposed demolition of an existing disused garage and erection of 1 no dwelling at land to rear of 27 Duckworth Road, Prestwich. Enquiry completed - 17 August 2018.

Adjacent site

33644 - Conservatory extension at the front at 24 Lowther Road, Prestwich. Approved with conditions - 17 December 1997.

41156 - Porch at side at 24 Lowther Road, Prestwich. Approved with conditions - 4 September 2003

Publicity

The neighbouring properties were notified by means of a letter on 23 October 2018 and a press notice was published in the Bury Times on 1 November 2018. Site notices were posted on 6 November 2018.

3 letters have been received from the occupiers of 24 & 26 Lowther Road and 7 Lowther Close, which have raised the following issues:

- The garage has not been used by any car or vehicle in nearly 40 years. There are no tyre treads within the site.
- The road outside this site is only 9ft wide and is on a bend. This part of Lowther Road has always been dangerous.
- The highways have enforced speed bumps on this stretch of Lowther Road to slow vehicles down.
- Planning has been refused before on this site.
- The height and length of the proposed house would project farther than the garage and would take away all the existing light from my property.

- My lounge, hall, bedroom and bathroom would suffer from a loss of light.
- A portion of this land belongs to my property.
- The proposed dwelling will affect my privacy particularly in the bathroom and at the back of the house.
- It would be a safety issue as any cars leaving would be on a blind spot with no pavement for pedestrians.

The neighbouring properties were notified of revised plans on 5 February 2019.

No response has been received to date and any comments will be reported in the Supplementary Report.

Statutory/Non-Statutory Consultations

Traffic Section - No objections in principle. Further comments will be reported in the Supplementary Report.

Drainage Section - No response.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land, asbestos and waste management.

Conservation Officer - No objections.

Waste Management - No response.

GM Ecology Unit - No objections, subject to the inclusion of an informative relating to nesting birds.

Pre-start Conditions - Agent has not yet agreed with pre-start conditions. Further information will be reported in the Supplementary Report.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle (Residential) - The National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term.

There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up with sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring indicates that the Council is unable to demonstrate a five year supply of deliverable housing land and this needs to be treated as a material factor when determining applications for residential developments.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site is located within the urban area and is surrounded by residential dwellings to all boundaries. As such, the proposed development would not conflict with the surrounding land uses. The proposed development would be in a sustainable location with regard to services and public transport. Therefore, the proposed development would be in accordance with Policy H1/2 of the Bury Unitary Development Plan.

Design and layout and impact upon conservation area - Whilst the application site is not located within the St Marys Conservation Area, it does face the boundary and as such, the proposal may have an impact upon the setting of the Conservation Area. Therefore, it is necessary to consider the proposal in terms of the Town and Country Planning Listed Building and Conservation Act.

Sections 66 and 72 of the Town & Country Planning (Listed Buildings & Conservation Areas Act) 1990 imposes a statutory duty upon the Local Planning Authority (LPA) to recognise, positively manage and ensure the preservation or enhancement of Listed Buildings and Conservation Areas.

Chapter 12 of the National Planning Policy Framework (NPPF) sets out the Government's planning policy position in relation to development involving heritage matters. Paras 128 to 141 set out how the significance of listed buildings and Conservation Areas must be considered in relation to development proposals including, but limited to, the judgement of harm, significance, loss to heritage assets (Designated ones and non-designated ones).

UDP Policies EN2/1, EN2/2 and EN2/3 seek to protect the character of listed buildings and conservation areas and to ensure that proposals preserve or enhance the character of such sensitive buildings and areas. In applying the tests of the policy to proposals, nature of the development, materials, relationships between visual qualities and the surrounding areas et al form part of the assessment process to ensure a high, conservation approach is adopted that is designed to preserve or enhance.

The proposed development would be located towards the rear of the site in a similar position to the existing garage. The proposed dwelling would be single storey with living accommodation in the roofspace and a single storey element at the rear with a flat roof. Whilst a flat roof would not normally be acceptable, the flat roof element of the proposed dwelling would not be visible from the conservation area or the streetscene.

The forms state that the proposed dwelling would be constructed from a buff brick with a slate roof. It is considered that a red brick would be more appropriate in the locality and this would be conditioned. The proposed materials of red brick and slate would be appropriate for a Conservation Area and would match the existing properties in the locality. The

proposed dwelling would include various details such as brick headers, brick detailing beneath the windows to add visual interest to the elevations. The application site is located within a residential area of mixed character and building designs, such as bungalows, dormer bungalows, two storey detached and two storey semi-detached dwellings. The Conservation Officer has no objections and a modest modern development on this site would be acceptable. As such, the proposed dwelling would preserve the surrounding properties and would not be a prominent feature in the streetscene. Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1, H2/2, EN2/1 and EN2/2 of the Bury Unitary Development Plan and the NPPF.

The proposed dwelling would have a rear garden, which would have an acceptable level of private amenity space. There would be space within the rear and side garden for bin storage. Therefore, the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case. The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows, 13 metres between a habitable room window and a two storey blank wall and 6.5 metres between a habitable room window and a single storey blank wall.

The proposed dwelling is single storey with rooms in the roofspace and therefore equates to a 1.5 storey dwelling. Therefore, there should be a minimum of 9.7 metres between a habitable room window and a blank wall.

There are a series of windows in the gable elevation of No. 24 Lowther Road. The windows on the ground floor are secondary windows with the principal windows to these rooms being located on the front and rear elevation. At first floor level, there is a window relating to a bedroom, which would be 7.7 metres from the proposed dwelling. As the habitable room window is at first floor, this would exceed the 6.5 metre aspect standard required.

The proposed dwelling would be 6.1 metres from the window in the gable elevation of No. 26 Lowther Road. As the window would be at first floor level and would be located near the flat roof section of the proposed building, the proposed development would not have a significant adverse impact upon the amenity of the occupiers of the adjacent dwelling.

There would be over 40 metres between the rear of the proposed dwelling and the properties on Duckworth Road. There would be over 30 metres between the front of the proposed development and the properties on Lowther Close.

Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

Ecology - GM Ecology Unit have confirmed that there are no significant ecological issues associated with the proposed development. GM Ecology Unit have no objections, subject to the inclusion of an informative relating to nesting birds. Therefore, the proposed development would not have a significant adverse impact upon a protected species and would be in accordance with Policy EN6/3 of the Bury Unitary Development Plan.

Highways issues - The proposed dwelling would be sited in a similar location to the existing garage, which would allow a large area of hardstanding to the front of the property, which would enable a vehicle to enter and leave in a forward gear. The site contains a garage and has an existing vehicular access onto the highway and therefore, the proposed development would not intensify the use of the existing access. The revised plans received on 5 February included details of a parking scheme for the occupiers of NO. 27 Duckworth Road, which are currently being assessed. The Traffic Section has no objections in principle to the proposed development and further comments will be reported in the Supplementary Report.

Parking - SPD11 states that the maximum parking standards for a 2 bed dwelling is 1.5 spaces per property.

The proposed development would provide 2 spaces and would comply with the maximum parking standards. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Response to objectors

- Regardless of whether the site has been used by vehicles, there is a lawful access onto Lowther Road, which must be taken into consideration.
- The planning history is reported above and there have been no previous applications for residential development on this site.
- The issues relating to loss of light and loss of privacy are addressed in the report above.
- The agent has amended the plans to ensure that all of the land is in the ownership of the applicant.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered AS01, AS00 - plan as existing, AS00 - Sketch parking scheme, AS01, AS02, AS03, AL01, AL02, AX00, AX01, AV00, AV01, AV02, AV03, AV04 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have

been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;

- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

6. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the dwelling hereby approved being first occupied.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

7. The turning facilities indicated on the approved plans shall be provided before the development is brought into use and shall subsequently be maintained free of obstruction at all times.

Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

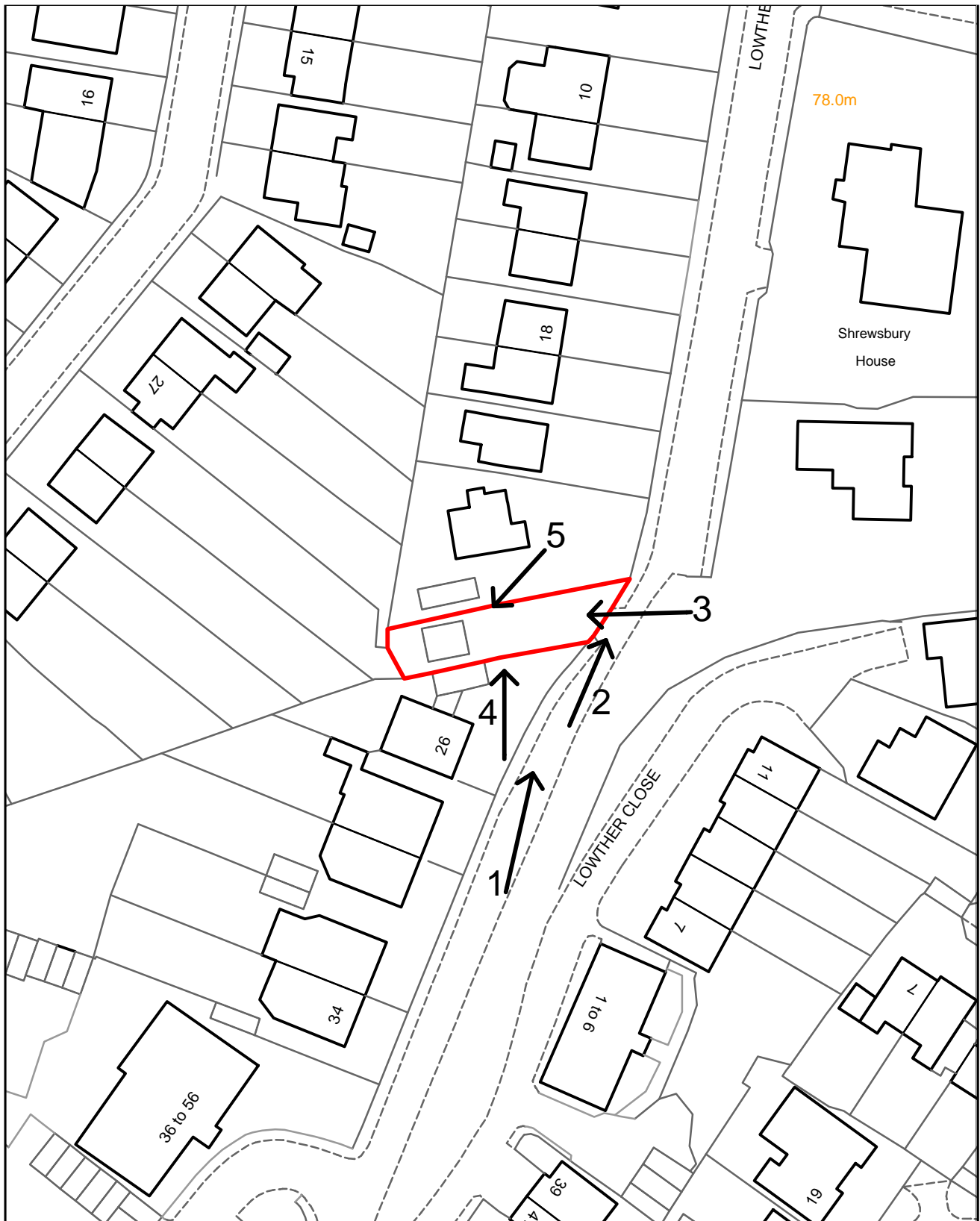
Policy H2/1 - The Form of New Housing Development

Policy H2/2 - The Layout of New Housing Development

Policy EN1/2 - Townscape and Built Design

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63374

ADDRESS: Land at rear of 27 Duckworth Road
Prestwich

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

63374

Photo 1



Photo 2



63374

Photo 3



Photo 4



63374

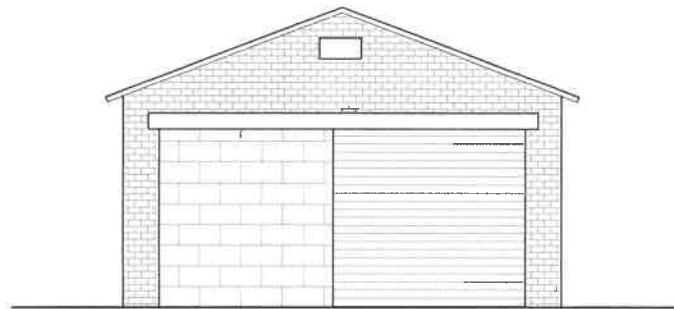
Photo 5



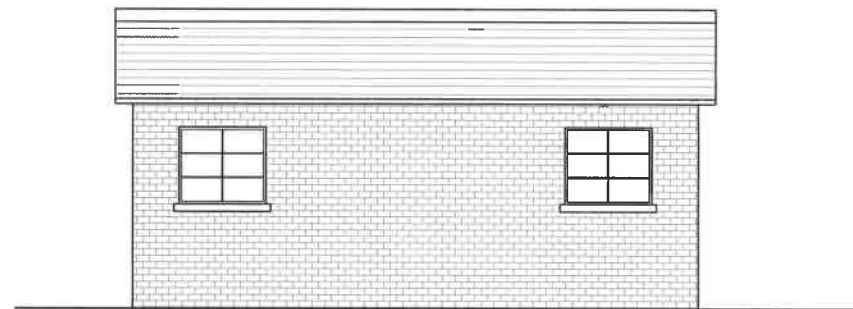
Do not scale off this drawing. All dimensions to be checked on site prior to construction and construction. This drawing is the property of DAG Architectural and should not be reproduced without permission. All discrepancies to be brought to the attention of the designer immediately. This drawing is to be read in conjunction with the specification / Bill of materials and related drawings.

FIRST ISSUE

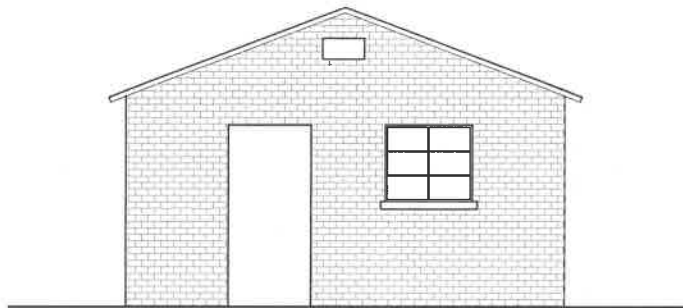
000000 XX



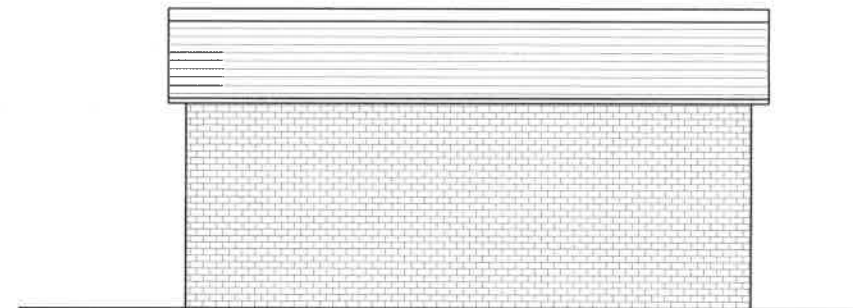
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

ZORIA MOGHIMI client

LTRO 27 DUCWORTH RD project

EXISTING GARAGE title

ELEVATIONS job No.

ZM01 dwg No.

AV00 scale

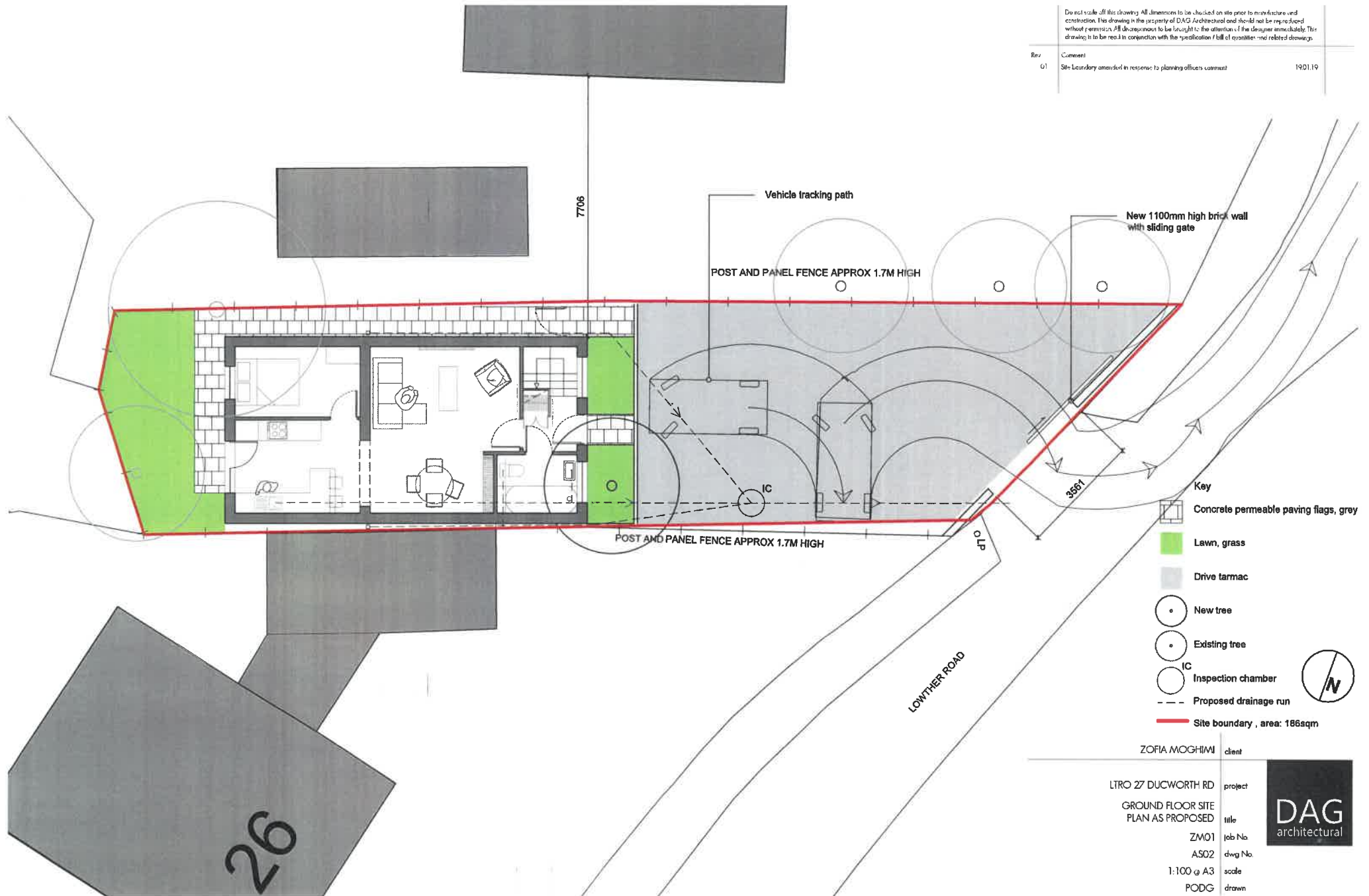
1:100 @ A3 drawn

PODG



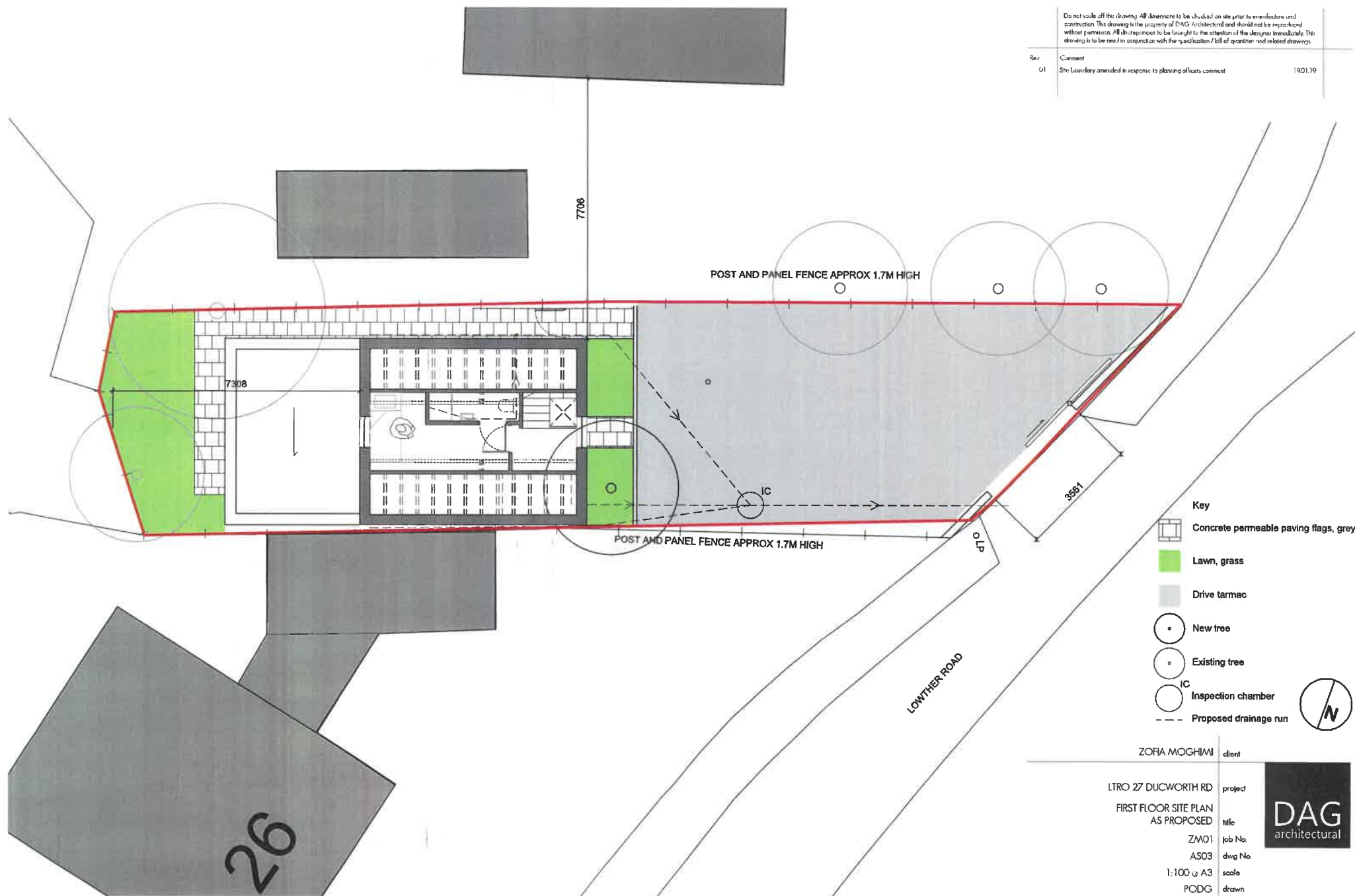
Do not scale off this drawing. All dimensions to be checked on site prior to manufacture and construction. This drawing is the property of DAG Architectural and should not be reproduced without permission. All dimensions to be brought to the attention of the designer immediately. This drawing is to be read in conjunction with the specification / bill of materials and related drawings.

Rev	Comment	
01	Site boundary amended in response to planning officers comment	19/01/19



Do not scale off this drawing. All dimensions to be checked on site prior to manufacture and construction. This drawing is the property of DAG Architectural and should not be reproduced without permission. All discrepancies to be brought to the attention of the designer immediately. This drawing is to be read in conjunction with the specification / bill of quantities and related drawings.

Rev	Comment	
01	Site boundary amended in response to planning officers comment	1901.19



- Key**
- Concrete permeable paving flags, grey
 - Lawn, grass
 - Drive tarmac
 - New tree
 - Existing tree
 - IC
 - Inspection chamber
 - Proposed drainage run

ZOFIA MOGHIMI client

LTRO 27 DUCWORTH RD project

FIRST FLOOR SITE PLAN
AS PROPOSED title

ZM01 job No.

AS03 dwg No.

1:100 @ A3 scale

PODG drawn



RIDGE +05.98

EAVES +02.60

GF FFL +00.00



Key

1. Brown buff brick
2. Blue natural slate
3. Light timber door
4. feature soldier course in matching brick
5. Aluminum framed glazing, light grey
6. RWP light grey to match windows

ZOFIA MOGHIMI client

LTRO 27 DUCWORTH RD project

NORTH ELEVATION
AS PROPOSED title

ZM01 job No.

AV03 dwg No.

1:100 @ A3 scale

PODG drawn

DAG
architectural

RIDGE +05.86

EAVES +02.60

GF FFL +00.00

5 3 1 4

Site Boundary

Key

1. Brown buff brick
2. Blue natural slate
3. Light timber door
4. feature soldier course in matching brick
5. Aluminum framed glazing, light grey
6. RWP light grey to match windows

ZOFIA MOGHIMI client

LTRO 27 DUCWORTH RD project

EAST ELEVATION AS PROPOSED title

ZM01 job No.

AV01 dwg No.

1:100 @ A3 scale

PODG drawn

DAG
architectural

Do not scale off this drawing. All dimensions to be checked on site prior to manufacture and construction. The drawing is the property of DAG Architectural and should not be reproduced without permission. All discrepancies to be brought to the attention of the designer immediately. This drawing is to be read in conjunction with the specification / bill of materials and related drawings.

FIRST ISSUE

000000 xx

RIDGE +05.96

EAVES +02.60

GF FFL +00.00



Site boundary

Lowther Road

Key

1. Brown buff brick
2. Blue natural slate
3. Light timber door
4. Feature soldier course in matching brick
5. Aluminum framed glazing, light grey
6. RWP light grey to match windows

ZOFIA MOGHIMI client

LITRO 27 DUCWORTH RD project

SOUTH ELEVATION
AS PROPOSED title

ZM01 job No.

AV04 chg No.

1:100 @ A3 scale

PODG drawn

DAG
architectural

Do not scale off this drawing. All dimensions to be checked on site prior to manufacture and construction. This drawing is the property of DAG Architectural and should not be reproduced without permission. All discrepancies to be brought to the attention of the designer immediately. This drawing is to be read in conjunction with the specification, bill of quantities and related drawings.

FIRST ISSUE

000000



Key

1. Brown buff brick
2. Blue natural slate
3. Light timber door
4. feature soldier course in matching brick
5. Aluminum framed glazing, light grey
6. RVP light grey to match windows

ZOFIA MOGHIMI client
 LTRO 27 DUCWORTH RD project
 WEST ELEVATION AS PROPOSED title
 ZM01 job No.
 AV02 dwg No.
 1:100 @ A3 scale
 PODG drawn

DAG
 architectural

Ward: North Manor

Item 02

Applicant: Mr Jeremy Buckley

Location: Bleaklow Hall, Bolton Road, Tottington, Bury, BL8 4JF

Proposal: Demolition of existing bungalow and erection of 4 no. dwellings with associated parking and access

Application Ref: 63388/Full

Target Date: 17/12/2018

Recommendation: Approve with Conditions

Description

The application site (0.82ha) lies on the eastern edge of Hawkshaw Village and is occupied by a large bungalow, built around 1976, and located within a large residential curtilage that historically was the site of Bleaklow Hall. The site slopes up from Bolton Road from the stone boundary wall along the frontage. Behind the boundary wall are a row of mature trees, the majority of which are protected by an area Tree Protection Order (341). The large sycamore tree, set back into the site is also protected by this order. The site is within the Green Belt, West Pennine Moors and a designated Special Landscape Area.

Adjacent to the boundary in the south-east corner, there are a pair of two storey semi-detached cottages (Nos.238 and 236 Bolton Road) whilst on the west side, there is a row of terraced houses. To the south, across Bolton Road, are 25 apartments at Hawkshaw Lodge and there is permission to build another 24 houses on the site of Bleaklow Mill. To the north are open fields and Public Right of Way (4TOT) runs up the eastern boundary of the site where it splits off in north westerly and north easterly directions.

The proposal involves the demolition of the existing bungalow on the site and the erection of four detached houses extending across the site, part way up the slope. Each dwelling would have 5 bedrooms and an attached garage all accessed via a private driveway from Bolton Road at a single access point at the south east corner of the site. The properties would be situated on the hillside and to varying extents cut into the slope. The height of the dwellings, due to their location on the slope and individual design, varies somewhat but generally they measure between 6.6m and 8m. Their respective heights in relation to the slope and the existing bungalow are indicated on the Sections Plan (S02/D).

The footprint and volume calculations of the existing and proposed dwellings are set out below:

Existing bungalow- 271.5 sqm (929cu.m)

Plot 1- 192.0 sqm (1010cu.m)

Plot 2- 244.3 sqm (1117cu.m)

Plot 3- 244.3 sqm (1117cu.m)

Plot 4- 295.2 sqm (1674cu.m)

All existing boundaries, a mix of stone walling and post and wire fences, augmented by new hedges, would remain.

Various supporting documents have been submitted with the application and these include:

- Design and Access Statement
- Planning Statement,
- Landscape and Visual Assessment,

- Landscape Specification
- Arboricultural constraints Assessment
- Contaminated Land Desktop study,
- Ecological Assessment,
- Historic Environment Desk Based Assessment

Relevant Planning History

02021/E - Residential development of no. 5 detached houses - Enquiry completed 22/08/2017

02067/E - Residential development of no. 5 detached houses - Enquiry completed

Publicity

Press notice (Public Right of Way) posted in Bury Times 01/11/18. Site notice posted 25/10/18.

The following neighbours were notified by initial and revised letters dated 24/10/18 and 31/01/19 respectively.

Apartments at Hawkshaw Lodge, 6A, 6 and 8 Sunny Top, 117, 190-198(even), 236, 264-290(even) Bolton Road, 8 Crown Mews, Claremont Bolton Road.

Objections have been received from the occupiers of 51, 144, 192 and 241 Bolton Road, 15 Highfield Avenue, Bank House Bolton Road, and Bramley Fold Farm. Local Ward Councillor James Daly has also objected to the proposal. The objections are summarised below:

- This site should not be classed as in-fill.
- The development is in the Green Belt and the "very special circumstances" test has not been met. The proposals do not comply with the NPPF and UDP policy on protecting the Green Belt and the Special Landscape area of the West Pennine Moors.
- As there is no volumetric guide to infill development in the NPPF or UDP, the Council should err on the side of caution as policy OL1/3 requires limited infill to be in a scale in keeping with the village and not adversely affect its character or appearance. These houses, if permitted would affect the village's character due to their design and size in a sensitive hill side location with inappropriate balconies and large amounts of glazing. The planning authority should exercise restraint especially as the applicants agent accepts at point 5:11 of their own planning statement that "there will be a loss of openness in the Green Belt arising from this scheme."
- To move from one four bedroom bungalow to four five bedroom houses on the site has a greater impact on the Green Belt simply due to the scale of the development and is contrary to UDP Policy EN1/1 Visual Amenity which states that development will not be permitted where proposals would have a detrimental effect on public views...viewed from areas of environmental interest such as the Green Belt or Special Landscape area. Bleaklow was not called the Black Hill in Saxon without good reason. It is highly visible from the surrounding Special Landscape Area including the SSSI of Holcombe Moor and from high ground at Affetside and Quarlton as well as from intermediate views from the west. The development will also be highly visible from the two public footpaths that run north south and east west at the rear of the site with no attempt at shielding the visual impact of these very large properties.
- EN9/1 also states development in the SLA should be strictly controlled and should be sympathetic to the surroundings in terms of visual impact.
- The additional traffic that will be created will cause highway safety issues. There should be traffic calming measures in place.
- The proposed design is out of keeping with the architectural heritage of the area.

- The Council's Tree Preservation Order should be fully respected and implemented as the applicant has already chopped down a number of mature trees.
- The footpath along the boundary should not be hindered in any way during or after any construction.
- The proposed four buildings will be too large and visually intrusive both from the road and the fields and footpaths behind.
- The site is within the geographical area outlined in a manuscript dated 1226 granting rights around Holcombe to Monk Bretton Priory, granted by Roger De Montbegon. Furthermore, recent archaeological finds [2018 and subject to archaeological report to be written] are dramatically changing our understanding of the medieval archaeology of the area, consequently and would like to propose the application be subject to a full archaeological excavation.
- The desktop heritage survey is welcome but suggest if ANY application for the site is approved, a full archaeological dig should take place due to the historic nature of this site. It is rare to have an opportunity to explore Bury's medieval past and the references from the 14th century indicate there was an important building here at this point. Records not fully explored by the applicant refer to oxgang land belonging to Bleaklow which suggest potential Anglo Saxon farming around this farm. (source Clitheroe Court Rolls ed Farrer). Other will evidence from 1658 of William Brooke proved at the consistory court in London describes Bleaklow as a capital messuage, again an indication of a very substantial and important house in the landscape.
- The site also has important historical connections, the Ainsworth family who owned Bleaklow in the 16th and 17th centuries are the ancestors of the noted Lancashire novelist Harrison Ainsworth - the author of the Pendle Witches. The James Wood mentioned in the desktop survey was the Master of St Johns College Cambridge who had risen from poverty in the area to be a noted mathematician.
- As the developer has already felled a large number of trees the development will not be shielded from people using the two public footpaths at the rear, and I suspect to the road. This is a serious impact on the visual amenities of the area.
- The bungalow stands on the site of historic Bleaklow Hall which dates to the Medieval period. An overlay of the tithe map indicates the bungalow may not have damaged around 70% of Bleaklow's foundations. As such a full Archaeological survey is required to investigate and record this important site.

Support has come from the occupiers of 33 properties both in the local area and further away. These are 9 Hawkshaw Lodge, 62 and 86 Bolton Road, Higher Barn Farm, Springside Farm, 8 Greenmount Drive, 40 Cross Lane, The Barns, 1 Brookwater Close, Holcombe Hey Fold, 45 Simms Close, 4 Mitchell Fold Nook, Green Gate, 116 Summerseat Lane, 104 Booth Way, Parks Farm, Captains Cottage, 413 Holcombe Road, Nabb House, Home Meadow Barn, The Croft, Birtch Hey Farm, 520 Bolton Road West, 2 Tor Avenue, 2 Hey House, 34 Heatherside Road, 18 Carrwood Hey, 85 Dovedale Road, 1 Spring Vale Drive, 10 Ada Street, 240 Holcombe Road, 15 Poolfield Close, 100A Watling Street, 24 Sandringham Drive, Harwood Cottage.

The supporters indicate that the proposal would be a positive addition to the village and is appropriate to the site without harm to the Green Belt.

Both objectors and supporters of the application have been notified of the Planning Control Committee.

Statutory/Non-Statutory Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No objection.

Environmental Health - No objection.

Public Rights of Way Officer - No objection.

United Utilities - No objection.

Greater Manchester Ecology Unit - No objection.

G M Archaeological Advisory Service - No objection subject to a condition relating to archaeological surveying.

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions

Unitary Development Plan and Policies

OL1/2	New Buildings in the Green Belt
OL7/2	West Pennine Moors
OL1/3	Infilling in Existing Villages in the Green Belt
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN3/1	Impact of Development on Archaeological Sites
EN3/2	Development Affecting Archaeological Sites
EN7	Pollution Control
EN7/5	Waste Water Management
EN8	Woodland and Trees
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN6/3	Features of Ecological Value
HT2/4	Car Parking and New Development
HT2/1	The Strategic Route Network
EN9/1	Special Landscape Areas
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
SPD11	Parking Standards in Bury
SPD16	Design and Layout of New Development in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies - Green Belt

National Planning Policy Framework, paragraph 143 recommends that when considering planning applications, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt.

Paragraph 145 of the NPPF indicates that construction of new buildings are inappropriate unless they fall into certain exceptions, including;

- limited infilling in villages,
- limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use which would not have a greater impact on the openness of the Green belt than the existing development.

The Unitary Development Plan, adopted in 1997, although outdated in some respects, still

forms the current local development plan.

UDP Policy OL1/2 - New Buildings in the Green Belt. The construction of new buildings inside the Green Belt is inappropriate development, unless it is for one or more of the following purposes:

- a) agriculture and forestry (except where permitted development rights have been withdrawn);
- b) essential facilities for outdoor sport and outdoor recreation, for cemeteries, and for other uses of land which preserve the openness of Green Belt and which do not conflict with the purposes of including land in it;
- c) limited extension, alteration or replacement of existing dwellings, provided that this would not result in disproportionate additions over and above the size of the original dwelling, or, in the case of replacement of existing dwellings, the new dwelling is not materially larger than the one it replaces;
- d) limited infilling in existing villages as set out under Policy OL1/3.

OL1/3 - Infilling in Existing Villages in the Green Belt. In all named villages which lie within the Green Belt, limited infill development may be permitted, provided that it is in scale with the village and would not adversely affect its character or surroundings.

There are a number of existing villages within the Borough's Green Belt. Whilst seeking to restrict their expansion this policy recognises the need to accept limited infilling within the villages named below:-

Shuttleworth, Holcombe Village, Hawkshaw, Summerseat, Nangreaves, Affetside, Ainsworth and Simister.

OL7/2 - West Pennine Moors. Throughout the area of the West Pennine Moors, as defined on the Proposals Map, the Council will control development and manage recreational activity and public access, so as to reduce any possible detrimental effects these may have on the important character of the area. In considering proposals for development particular regard will be had to the effect on the following:

- a) agriculture and forestry;
- b) water catchment;
- c) settlements;
- d) landscape character;
- e) ecological and geological features;
- f) archaeological and historic features.

EN1/1 - Visual Amenity. Development will not be permitted where proposals would have a detrimental effect on:

- a) public views of prominent or important buildings, especially those in areas of architectural or historic interest;
- b) the visual amenity both within, or viewed from, areas of environmental interest such as the Green Belt, Special Landscape Areas or the river valleys.

EN9/1 - Special Landscape Areas. In those areas identified on the Proposals Map as Special Landscape Areas, any development which is permitted will be strictly controlled and required to be sympathetic to its surroundings in terms of its visual impact. High standards of design, siting and landscaping will be expected. Unduly obtrusive development will not be permitted in such areas.

Principle - Green Belt

The site is situated in the Green Belt and forms part of a ribbon of development extending from the on the eastern edge of Hawkshaw village westwards. The site sits between two established residential rows of dwellings and has a defined and established boundary at the rear.

The site, is a named village under UDP Policy OL1/3 - Infilling in Existing Villages in the Green Belt, and therefore could be considered an infill site given its position within the

village, the scale of the development and the shape and constraints of the site. Bullet point e) of para 145 of the NPPF states that residential development in the Green Belt is not inappropriate development if it relates to limited infilling in a village, and as such considered against this policy.

Limited Infilling - The term 'limited infilling' is not specifically defined within the NPPF but would generally refer to gaps of land that may be capable of development without prejudicing Green Belt objectives. It may include forms of development other than frontage infilling, as long as the development would be in keeping with the village's character and this entails assessing each proposal on its merits and in relation to its surroundings.

The layout plan shows that each dwelling would sit relatively comfortably within its own plot with a sizeable landscaped garden curtilage. Although the volume of each house would be in excess of the existing bungalow, the dwellings have been designed set into the backdrop of the land behind with a relatively low form that utilises the roofspace, and as such would minimise the impact within the landscape.

Given the location of the site within the context of the streetscape and the village and the scale of the plot and the proposed development itself, it is considered that the proposed development would constitute limited infill development in line with the principles of bullet point e) of para 145 of the NPPF and UDP Policy OL1/3.

Visual amenity, character and openness of the Green Belt - Situated between terraced and semi-detached residential properties on the eastern edge of the village, the existing bungalow appears rather incongruous and isolated, sitting as it does in the centre of a large residential curtilage and set back from the road, part way up the hillside. This is not surprising given that historically, Bleaklow Hall stood on the site in the early 19th Century.

Set back from the Bolton Road and due to the need to protect and not impose on the mature protected trees along the frontage, the general layout of the proposed dwellings would follow a central arc running east to west across the site. This pattern attempts to tie the new houses into the general linear pattern of houses along this part of the Bolton Road. This is considered an appropriate and logical layout given the constraints of the site.

The site slopes up from Bolton Road and therefore it is imperative that any new development sits comfortably on the hillside and does not appear incongruous or overly dominant within the streetscape and surrounding landscape. It should maintain a generally open aspect and views through the site.

The proposal, in setting the dwellings into the slope and keeping the roof heights down, is the design solution that attempts to address these critical concerns. In addition to the scale and height issues, there were concerns with the initial layout submitted in that the dwellings appeared to be too close together and did not allow sufficient spacing between them to maintain views through the site. Following discussions, the plans were revised in an attempt to reduce the scale of the dwellings by omitting the pitched roofs over the garage and creating space between the dwellings.

It is important to note that the proposal relates specifically to Paragraph 145(e) of the NPPF and is not attempting to satisfy sub-paragraph (g) which refers specifically to the comparative impact of existing and proposed buildings on the openness of the Green Belt. Whilst it is recognised that there would be some loss of openness to the Green Belt, within the context of infilling in villages as referred to in Paragraph 145(e) of the NPPF, the primary factor is the impact the development would have on the character of the village within the wider Green Belt rather than the loss of openness per se.

In recognising the need for the development to 'fit in' appropriately within the village, the application includes a Landscape and Visual Assessment (Penny Bennett Landscape Architects).

The assessment notes that the character of the site, with the existing bungalow and its siting between houses, does not significantly contribute to the wider character and openness of the Green Belt and from Bolton Road and views across the site are somewhat limited by shrubs and mature tree planting along the frontage. Approaching the village, the proposed development site would be viewed against the backdrop of other buildings on the edge of the village.

The trees are a particularly important mitigating factor in the assessment, both reducing views across the existing site and partly screening the new build from Bolton Road. A further benefit of the proposal is the opportunity for a landscape management plan to be implemented, so securing an appropriate and long term future for the buffer zone along the Bolton Road frontage.

The development would be clearly viewed from the public footpath as it climbs up steadily from Bolton Road and along the eastern boundary of the site before forking off in north westerly and north easterly directions, across the fields. Due to the position and level of the dwellings on the hillside, the longer range views of the development from around the site would be tempered.

In terms of design and appearance, the new dwellings are clearly different from the existing property and the houses on either side. Indeed, given that the existing terraced houses and semi-detached houses sit very close to the Bolton Road frontage, any new development on the site would as a necessity be different within the streetscape, given that the properties would need to be situated further up the slope, but set down so as not to be overly dominant. Therefore a site specific, bespoke design would likely be the better approach in addressing the site constraints and character.

The development therefore proposes a more contemporary design, with a natural pallet of local materials would reference buildings in the local area. The development would also be viewed through the retained tree line which would significantly reduce its visual impact and reinforce the semi rural and village setting. It is noted that a recently approved development with a mix of traditional and more contemporary elements is currently being built out across Bolton Road at the former Bleaklow Mill site.

It is considered reasonable, given the nature of the site, that 'permitted development' rights are withdrawn from the proposed dwellings, thereby controlling any future extensions or alterations.

The proposal is on balance acceptable and complies with the NPPF and UDP Policies OL1/2, OL1/3, OL7/2 and EN1/1, EN9/1 and EN1/3 with regard to the Green Belt, West Pennine Moors, Special Landscape Area and the general streetscape.

Policies - Housing

The National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up with sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring indicates that the Council is unable to demonstrate a five year supply of deliverable housing land and this needs to be treated as a material factor when determining applications for residential developments.

H1/2 - Further Housing Development. The Council will have regard to the following factors when assessing proposals for housing development on sites not identified on the Proposals Map:

- a) the need to direct development towards the urban area;
- b) the availability of infrastructure;
- c) the need to avoid the release of peripheral open land, unless this can be shown to be consistent with urban regeneration;
- d) the suitability of the site in land use terms with regard to amenity, the nature of the local environment and surrounding land uses;
- e) other policies and proposals of the Plan.

H2/1 - The Form of New Residential Development. All new residential development will be expected to make a positive contribution to the form and quality of the surrounding area.

Factors to be considered when assessing proposals will include:

- a) the height and roof type of adjacent buildings;
- b) the impact of developments on residential amenity;
- c) the density and character of the surrounding area;
- d) the position and proximity of neighbouring properties;
- e) the materials to be used in proposed developments, especially their colour and texture.

H2/2 - The Layout of New Residential Development. New residential development will be required to demonstrate acceptable standards of layout. Factors to be considered when assessing proposals will include:

- a) car parking provision;
- b) access for both vehicles and pedestrians, and provision for public transport;
- c) the possible need for traffic calming measures;
- d) density;
- e) space about and between dwellings;
- f) landscaping and screening;
- g) protection/provision of trees and hedgerows;
- h) open space/children's play areas;
- i) design for safety and security;
- j) access/facilities for the disabled;
- k) the existence of any public rights of way.

Principle - Housing

With the existing bungalow within its extensive curtilage, the established use of the site is residential. The surrounding area is characterised by residential development and Hawkshaw Village which extends beyond the site to the west. There is existing infrastructure in place to serve the development. The proposed development is therefore considered not to conflict with the local environment in terms of character of the area.

The NPPF emphasises the need for Local Planning Authorities to boost the supply of housing to meet local needs and the proposed development would assist in contributing to the shortfall of housing in the Borough to provide family accommodation.

As such, it is considered that the principle of housing would be acceptable and would be in compliance with the NPPF and UDP Policies H1/2, H2/1 and H2/2.

Residential amenity - The immediate neighbour to the east is No 238 Bolton Road, a two storey cottage sitting at the foot of the slope with a blank gable facing the site. The proposed dwelling on plot four would be closest and this sits so there is no direct overlooking towards this property. Although sitting at a higher level to No 238 Bolton Road, the house on plot 4 would be a sufficient distance away across the boundary hedge so as not to seriously impact on the residential amenity of the occupier.

On the western side of the site, the closest property would be No 264 Bolton Road, a two storey end terrace. This property has side windows but would overlook the treed area along

the front of Bolton Road and would not create any amenity issues. The nearest house would be on plot 1 and sit higher up the slope but at a suitable distance into the site and also behind the line of existing trees running along the side boundary and as such would not cause any overlooking or aspect issues.

Given the siting of the houses within the plot, there would be no residential amenity issues arising. As such the proposal is considered acceptable and complies with UDP Policy H2/1 The Form of Residential Development in relation to residential amenity.

Trees and Landscaping - A characteristic of the site is the presence of mature trees comprising a mix of Sycamore, Cherry, Ash and Oak, in the south west corner and extending along the Bolton Road frontage. 10 of the 14 trees along the frontage, and a large sycamore set back into the site, are protected under TPO341. Other trees are present on the boundary in the south west corner with others just outside the eastern boundary. There is also a significant presence of Rhododendron bushes along the frontage.

An Arboricultural Assessment (Peake Active Tree Management, 29/09/17) has been submitted with the application. The assessment groups the trees into two categories. Category B (moderate value) covers 13 trees, including all but 3 of the TPO trees and category C (lower value) includes 6 of the frontage trees and two others. A Cherry tree along the frontage has been identified as dead and to be removed (not requiring consent).

The assessment concludes that the proposed layout, with no-build areas around root zones, would not have a seriously detrimental impact on any of the trees within the site. Despite identifying 3 of the TPO trees as lower quality, all trees, except a dead Cherry, could be retained without seriously impacting on the development.

Whilst a couple of lower grade trees within the site, a cypress in front of proposed plot 2 and a spruce in the south west corner, could be removed in lieu of more suitable replacements, it is considered that all other trees, subject to more detailed surveys, could be retained through an appropriate condition. A long term landscape management plan, including new shrub and tree planting would also be required as a condition of any approval. It is considered that with a suitable landscape scheme, there is an opportunity to improve and diversify the site in terms of the landscape planting. The proposed development, in terms of the impact on trees and landscaping, would be acceptable and comply with the NPPF and UDP Policies EN1/3, EN8, EN8/1 and EN8/2 relating to trees and landscaping.

Ecology - Greater Manchester Ecology Unite (GMEU) have been consulted on the application. No significant ecological issues were identified by the developer's ecological consultant. Issues relating to bats, nesting birds, invasive species and landscaping can be resolved by suitable conditions and informatives.

Bats - The buildings on the site were assessed for bat roosting potential. Both were assessed as having negligible bat roosting potential. Whilst the report is somewhat brief with a lack of photographic evidence to back up the statements in the report, the photographs within the heritage report appear to support these statements. The conclusions of the report are therefore accepted.

Nesting Birds - Whilst the majority of trees and shrubs appear to be retained, the report notes that some bird nesting habitat will be lost. All British birds nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife & Countryside Act 1981, as amended. A suitable condition would restrict tree cutting/pruning.

Invasive Species - The presence of Rhododendron ponticum is noted in the report. This species is listed under schedule 9 part 2 of the Wildlife & Countryside Act 1981 (as amended). It is an offence to introduce or cause to grow wild any plant listed under this schedule. Unlike species such as Japanese knotweed however this species is unlikely to be spread as easily, as a result of earthmoving. An informative would be attached to any approval addressing this.

Contributing to and Enhancing the Natural Environment - Section 170 of the NPPF 2018 states that the planning system should contribute to and enhance the natural and local environment. The development will result in a small loss trees and shrubs, with significantly more trees and a hedgerow proposed that will potentially provide enhancement for these losses, dependent on the wildlife value of the species. It is recognised that, with a sensitive landscaping scheme, the development has the potential to achieve net gain in this respect.

In terms of ecological impact, GMEU have no objection and as such the proposal is considered to be acceptable and complies with the NPPF and UDP Policy .

Archaeology and historic context - An Archaeological Desk Based Assessment (Archaeological Research Services) was submitted with the application. The study provides details of historic mapping, some historical documentary research, and a site walkover description. The GM Historic Environment Record has been used to give an understanding of archaeological finds in the near vicinity. At the end of the report and the executive summary are recommendations for further archaeological mitigation. These relate to recording the visible (although currently overgrown) remains of the 19th century outbuildings and undertaking evaluation through trial trenching to examine the potential for below-ground archaeological remains relating to previous halls on the site (which may go back to the medieval period).

The Greater Manchester Archaeological Advisory Service (GMAAS) have been consulted and consider that the site has some potential for prehistoric remains given its favourable topographic and a number of prehistoric sites and finds from the vicinity.

GMAAS agree with the recommendations for further archaeological mitigation set out in the desk based assessment. If the evaluation uncovers significant remains that will be damaged or destroyed by development ground works then a further stage of archaeological works in the form of targeted more detailed excavation would be required. GMAAS agree with this approach and recommend that a condition is attached to any consent granted requiring that a programme of archaeological work be undertaken. Subject to an appropriate condition, the proposal is considered to be acceptable in terms of archaeological impact and complies with the NPPF and UDP Policies EN3/1 and EN3/2.

Traffic - The net gain of three dwellings on the site would clearly mean increased traffic generation. However Bolton Road is part of a Strategic Route Network and is considered a main corridor of movement within and through the Borough. The proposal is utilising an existing vehicular and pedestrian access onto Bolton Road in the south east corner of the site and with a new driveway linking each dwelling satisfies current Council standards and is considered to be acceptable.

The proposed parking provision of at least 2/3 cars per dwelling would also be considered acceptable for houses of this scale. Subject to conditions, the traffic team have no objections to the proposed development which, in terms of access and parking, would comply with the NPPF and UDP Policies H2/2 The Layout of New Residential Development, HT2/4 Car Parking and New Development and guidance within SPD 11 Parking Standards in Bury.

Servicing - Refuse bins would be brought down from each dwelling to a designated collection point adjacent to the access point onto Bolton Road. This is considered to be acceptable.

Contaminated Land - A Preliminary Risk Assessment (Ian Farmer Associates, December 2017) was submitted with the application. The site has historically been occupied by Bleaklow Hall which was demolished and replaced with a new building between 1964 and 1971. The site has historically been surrounded by agricultural land with Cotton Mills situated to the west and south. The site is not situated within 250m of a registered landfill and is situated above the Brooksbottoms Grit Sandstone Secondary A Aquifer which is overlain by Glacial Till. The nearest surface watercourse is Bleaklow Mill Reservoir which is located 10m to the south of the site.

Potential sources of contamination have been identified and further works have been recommended through an appropriate condition to investigate the presence of any contamination. The works are to include exploratory holes for geotechnical and chemical analysis. Additionally prior to demolition of existing buildings an asbestos report will be required.

Drainage - There are no serious drainage issues on the site and neither the Council's drainage officer or United Utilities have raised any objections to the scheme. A suitable drainage condition, requiring a drainage scheme to be submitted and approved in writing, would be attached to any approval. The proposal is considered acceptable in terms of drainage and, subject to a drainage condition, complies with the NPPF and UDP Policies EN5/1, EN7/3 and EN7/5.

Objections - The planning issues raised by the objectors have been addressed in the above report

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 10371 01/A, L01/A, E02, E04/A, E05/A, E07, 16, L10, L11, L12, P03/B, P04/A, P05, S01/A, S02/D and the following supporting documents:
 - Design and Access Statement
 - Planning Statement,
 - Landscape and Visual Assessment,
 - Landscape Specification
 - Arboricultural constraints Assessment
 - Contaminated Land Desktop study,
 - Ecological Assessment,
 - Historic Environment Desk Based AssessmentThe development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details of all materials to be used in the external elevations, boundaries, walls, entrance gates and areas of hardstanding shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to

4. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
5. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.
 - an asbestos survey is to be carried out by an appropriately qualified contractor. Any asbestos identified should be disposed of in an appropriate manner.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
6. Following the provisions of Condition 5 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and a Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
7. If during the works on site, excess or waste soil material is removed from site, details of where and how the soil material was disposed of, including copies of waste transfer documentation, shall be submitted to the Local Planning Authority for approval.
Reason. To secure the satisfactory waste management arrangements in the interests of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
8. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and agreed in writing with the Local Planning Authority and shall confirm/provide the following:
 - Hours of operation and number of vehicle movements;
 - A scheme of appropriate warning/construction traffic speed signage in the vicinity of the site and its access;
 - Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site, including any requisite phasing of the development to accommodate this;
 - Parking on site of operatives' and demolition/construction vehicles together

with storage on site of demolition/construction materials, including any requisite phasing of the development to accommodate this.

- Measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations.

The approved plan shall be adhered to throughout the demolition and construction periods and the measures shall be retained and facilities used for the intended purpose for the duration of both periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of construction materials.

Reason. No information was submitted at application stage to mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Unitary Development Plan Policy HT2/1 - The Strategic Route Network.

9. The vehicular and pedestrian access arrangements and bin collection area indicated on the approved plans, incorporating the relocation/replacement of the affected road gully, provision of tactile paving, partial removal of the existing guard railing (limits to be agreed on site) and all associated highway remedial works required as a result of the proposed development and statutory undertakers connections to the proposed dwellings, shall be implemented to an agreed scope and specification and to the satisfaction of the Local Planning Authority before the development is first occupied.

Reason. To ensure good highway design, maintain the integrity of the adopted highway and ensure the intervisibility of the users of the site and the adjacent highways in the interests of highway safety pursuant to Unitary Development Plan Policy HT2/1 - The Strategic Route Network.

10. The various turning facilities indicated on the approved plans shall be provided before the dwellings are first occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.

Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Unitary Development Plan Policies HT2/1 - The Strategic Route Network and HT2/4 - Car Parking and New Development.

11. The car parking indicated on the approved plans shall be surfaced and made available for use prior to the dwelling hereby approved to which it relates being occupied and thereafter maintained at all times.

Reason. To ensure adequate off-street car parking provision in the interests of road safety pursuant to Unitary Development Plan Policy HT2/4 - Car Parking and New Development.

12. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no active bird nests are present which has been agreed in writing by the Local Planning Authority

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

13. Prior to commencement of development a revised landscaping scheme, including all retained trees, shall be submitted to, and approved by the Local Planning Authority. The approved scheme shall thereafter be implemented not later than 12

months from the date any of the dwellings are first occupied and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within three years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.

Reason. No information was submitted at application stage to secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies H2/2 The Layout of New Residential Development, EN1/3 Landscaping Provision, EN8/2 Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the National Planning Policy Framework.

14. A minimum of 5 working days written notice shall be provided to the LPA of intended commencement of the development. The notification of commencement shall include a timetabled schedule of the intended tree protection measures and tree works. Any subsequent variation of the timetable shall be subject to further written notice.

Reason - To ensure that the development is carried out in accordance with the approved plans, to protect trees which are of amenity value on the site and pursuant to Policies EN8/1 – Tree Preservation Orders and EN8/2 Woodland and Tree Planting of the Bury Unitary Development Plan.

15. All trees to be retained on site shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the measures required by the British Standard are implemented and all measures required shall remain in situ until the development has been completed.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

16. No trees subject to a Tree Preservation Order shall be felled, lopped or topped before, during or after the construction period without the previous written consent of the Local Planning Authority.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

17. No development shall take place until the applicant or their agents or their successors in title have secured the implementation of a programme of archaeological works. The programme is to be undertaken in accordance with Written Schemes of Investigation (WSIs) submitted to and approved in writing by the local planning authority. The WSIs shall cover the following:

1. A phased programme of archaeological fieldwork to include:
 - a survey record of visible 19th century and earlier remains
 - a programme of archaeological evaluation trenching
 - informed by the above, targeted open area excavation (subject to a separate WSI).
2. A programme for post investigation assessment to include,
 - analysis of the site investigation records and finds
 - production of a final report.
3. Provision for dissemination of the results of the investigations.
4. Provision for archive deposition of the report, finds and records of the site investigation.
5. Nomination of a competent person or persons/organisation to undertake the programme set-out within the approved WSIs.

Reason: No information was submitted at application stage to record and advance understanding of heritage assets impacted on by the development and to make information about the heritage interest publicly accessible in accordance with National Planning Policy Framework Section 16 - Conserving and enhancing the

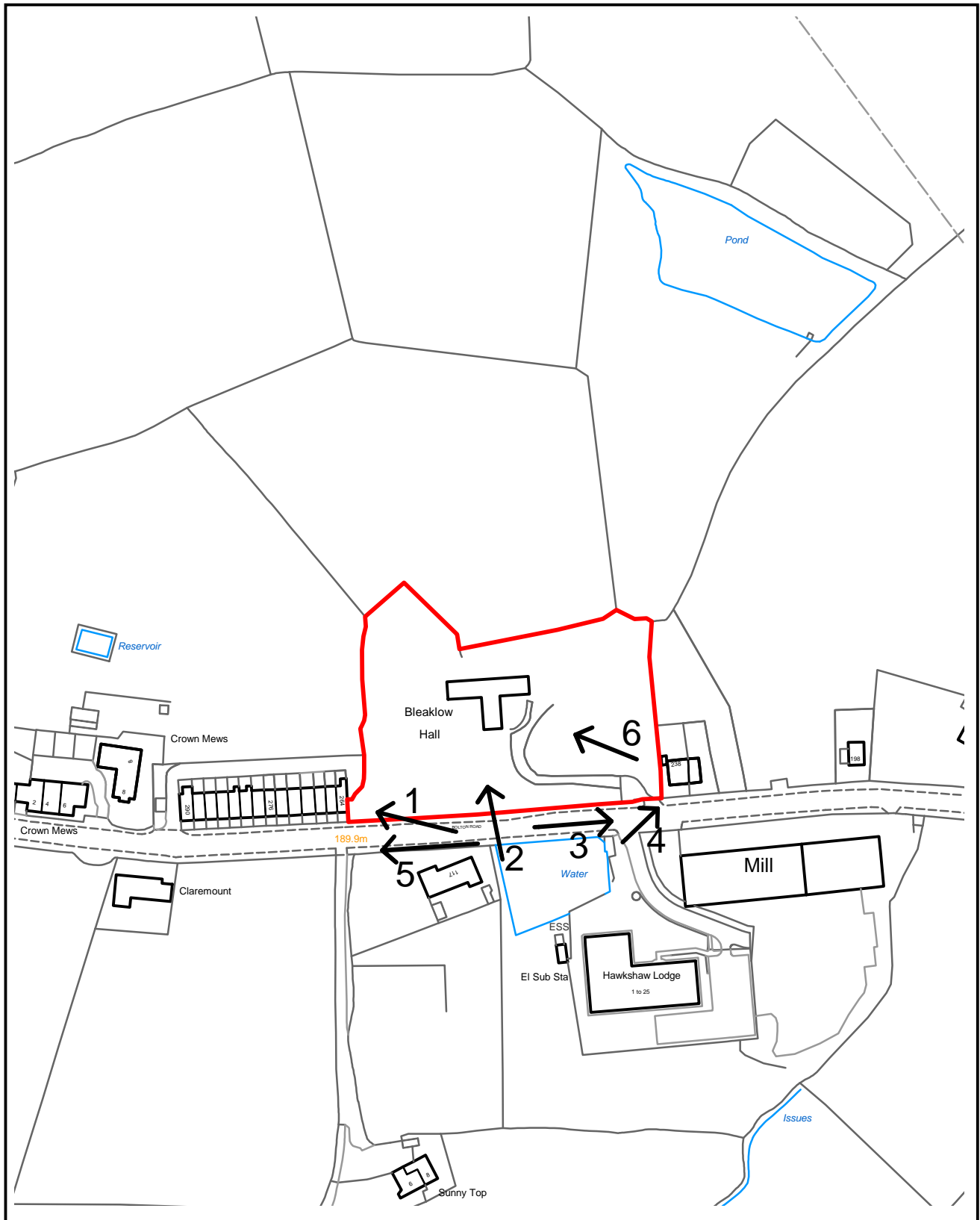
historic environment paragraph 199.

18. No development shall commence unless and until surface water drainage proposals have been submitted to and approved in writing by the Local Planning Authority. The scheme should be in accordance with the submitted Surface Water Sustainable Drainage Assessment and must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.

Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1 New Development and Flood Risk , EN7/3 Water Pollution and EN7/5 Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the National Planning Policy Framework.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63388

**ADDRESS: Bleaklow Hall, Bolton Road
Hawkshaw**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

63388

Photo 1



Photo 2



63388

Photo 3



Photo 4



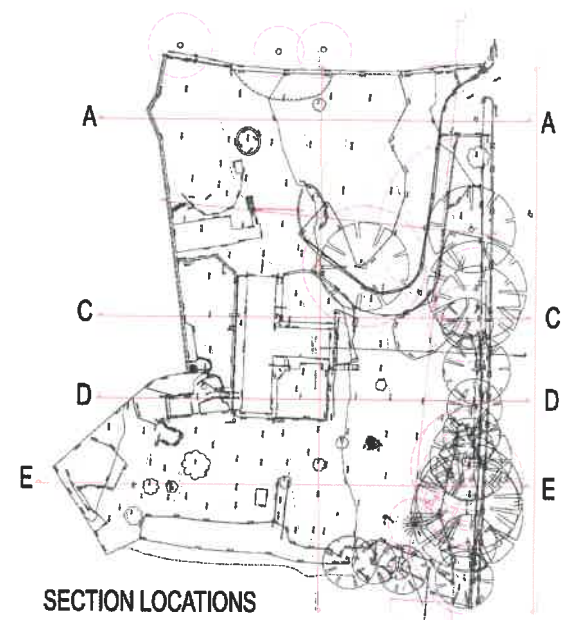
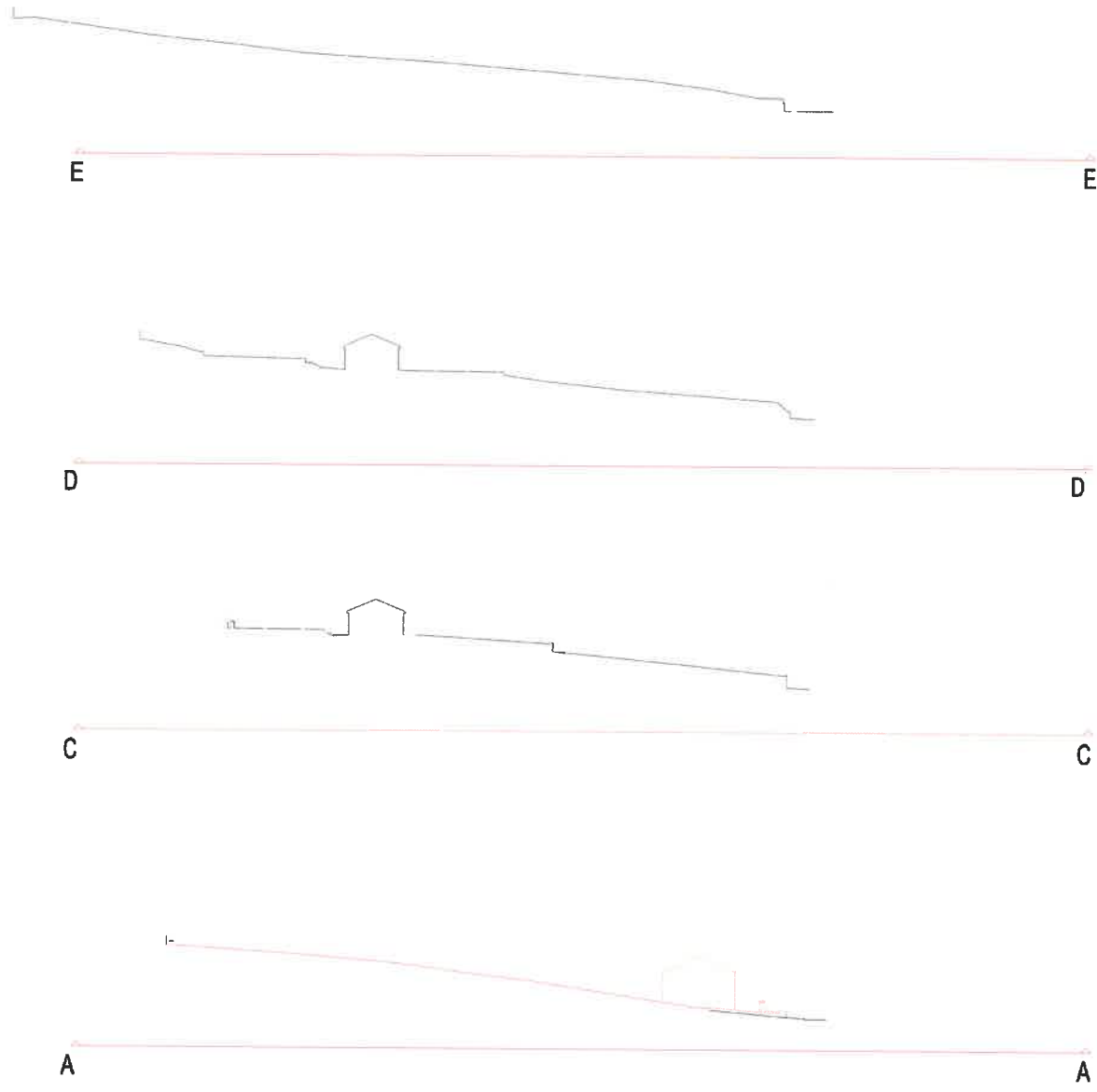
63388

Photo 5



Photo 6





SECTION LOCATIONS



180.00
 179.50
 179.00
 178.50
 178.00
 177.50
 177.00
 176.50
 176.00
 175.50
 175.00
 174.50
 174.00
 173.50
 173.00
 172.50
 172.00
 171.50
 171.00
 170.50
 170.00
 169.50
 169.00
 168.50
 168.00
 167.50
 167.00
 166.50
 166.00
 165.50
 165.00
 164.50
 164.00
 163.50
 163.00
 162.50
 162.00
 161.50
 161.00
 160.50
 160.00
 159.50
 159.00
 158.50
 158.00
 157.50
 157.00
 156.50
 156.00
 155.50
 155.00
 154.50
 154.00
 153.50
 153.00
 152.50
 152.00
 151.50
 151.00
 150.50
 150.00
 149.50
 149.00
 148.50
 148.00
 147.50
 147.00
 146.50
 146.00
 145.50
 145.00
 144.50
 144.00
 143.50
 143.00
 142.50
 142.00
 141.50
 141.00
 140.50
 140.00
 139.50
 139.00
 138.50
 138.00
 137.50
 137.00
 136.50
 136.00
 135.50
 135.00
 134.50
 134.00
 133.50
 133.00
 132.50
 132.00
 131.50
 131.00
 130.50
 130.00
 129.50
 129.00
 128.50
 128.00
 127.50
 127.00
 126.50
 126.00
 125.50
 125.00
 124.50
 124.00
 123.50
 123.00
 122.50
 122.00
 121.50
 121.00
 120.50
 120.00
 119.50
 119.00
 118.50
 118.00
 117.50
 117.00
 116.50
 116.00
 115.50
 115.00
 114.50
 114.00
 113.50
 113.00
 112.50
 112.00
 111.50
 111.00
 110.50
 110.00
 109.50
 109.00
 108.50
 108.00
 107.50
 107.00
 106.50
 106.00
 105.50
 105.00
 104.50
 104.00
 103.50
 103.00
 102.50
 102.00
 101.50
 101.00
 100.50
 100.00
 99.50
 99.00
 98.50
 98.00
 97.50
 97.00
 96.50
 96.00
 95.50
 95.00
 94.50
 94.00
 93.50
 93.00
 92.50
 92.00
 91.50
 91.00
 90.50
 90.00
 89.50
 89.00
 88.50
 88.00
 87.50
 87.00
 86.50
 86.00
 85.50
 85.00
 84.50
 84.00
 83.50
 83.00
 82.50
 82.00
 81.50
 81.00
 80.50
 80.00
 79.50
 79.00
 78.50
 78.00
 77.50
 77.00
 76.50
 76.00
 75.50
 75.00
 74.50
 74.00
 73.50
 73.00
 72.50
 72.00
 71.50
 71.00
 70.50
 70.00
 69.50
 69.00
 68.50
 68.00
 67.50
 67.00
 66.50
 66.00
 65.50
 65.00
 64.50
 64.00
 63.50
 63.00
 62.50
 62.00
 61.50
 61.00
 60.50
 60.00
 59.50
 59.00
 58.50
 58.00
 57.50
 57.00
 56.50
 56.00
 55.50
 55.00
 54.50
 54.00
 53.50
 53.00
 52.50
 52.00
 51.50
 51.00
 50.50
 50.00
 49.50
 49.00
 48.50
 48.00
 47.50
 47.00
 46.50
 46.00
 45.50
 45.00
 44.50
 44.00
 43.50
 43.00
 42.50
 42.00
 41.50
 41.00
 40.50
 40.00
 39.50
 39.00
 38.50
 38.00
 37.50
 37.00
 36.50
 36.00
 35.50
 35.00
 34.50
 34.00
 33.50
 33.00
 32.50
 32.00
 31.50
 31.00
 30.50
 30.00
 29.50
 29.00
 28.50
 28.00
 27.50
 27.00
 26.50
 26.00
 25.50
 25.00
 24.50
 24.00
 23.50
 23.00
 22.50
 22.00
 21.50
 21.00
 20.50
 20.00
 19.50
 19.00
 18.50
 18.00
 17.50
 17.00
 16.50
 16.00
 15.50
 15.00
 14.50
 14.00
 13.50
 13.00
 12.50
 12.00
 11.50
 11.00
 10.50
 10.00
 9.50
 9.00
 8.50
 8.00
 7.50
 7.00
 6.50
 6.00
 5.50
 5.00
 4.50
 4.00
 3.50
 3.00
 2.50
 2.00
 1.50
 1.00
 0.50
 0.00
 -0.50
 -1.00
 -1.50
 -2.00
 -2.50
 -3.00
 -3.50
 -4.00
 -4.50
 -5.00
 -5.50
 -6.00
 -6.50
 -7.00
 -7.50
 -8.00
 -8.50
 -9.00
 -9.50
 -10.00
 -10.50
 -11.00
 -11.50
 -12.00
 -12.50
 -13.00
 -13.50
 -14.00
 -14.50
 -15.00
 -15.50
 -16.00
 -16.50
 -17.00
 -17.50
 -18.00
 -18.50
 -19.00
 -19.50
 -20.00
 -20.50
 -21.00
 -21.50
 -22.00
 -22.50
 -23.00
 -23.50
 -24.00
 -24.50
 -25.00
 -25.50
 -26.00
 -26.50
 -27.00
 -27.50
 -28.00
 -28.50
 -29.00
 -29.50
 -30.00
 -30.50
 -31.00
 -31.50
 -32.00
 -32.50
 -33.00
 -33.50
 -34.00
 -34.50
 -35.00
 -35.50
 -36.00
 -36.50
 -37.00
 -37.50
 -38.00
 -38.50
 -39.00
 -39.50
 -40.00
 -40.50
 -41.00
 -41.50
 -42.00
 -42.50
 -43.00
 -43.50
 -44.00
 -44.50
 -45.00
 -45.50
 -46.00
 -46.50
 -47.00
 -47.50
 -48.00
 -48.50
 -49.00
 -49.50
 -50.00
 -50.50
 -51.00
 -51.50
 -52.00
 -52.50
 -53.00
 -53.50
 -54.00
 -54.50
 -55.00
 -55.50
 -56.00
 -56.50
 -57.00
 -57.50
 -58.00
 -58.50
 -59.00
 -59.50
 -60.00
 -60.50
 -61.00
 -61.50
 -62.00
 -62.50
 -63.00
 -63.50
 -64.00
 -64.50
 -65.00
 -65.50
 -66.00
 -66.50
 -67.00
 -67.50
 -68.00
 -68.50
 -69.00
 -69.50
 -70.00
 -70.50
 -71.00
 -71.50
 -72.00
 -72.50
 -73.00
 -73.50
 -74.00
 -74.50
 -75.00
 -75.50
 -76.00
 -76.50
 -77.00
 -77.50
 -78.00
 -78.50
 -79.00
 -79.50
 -80.00
 -80.50
 -81.00
 -81.50
 -82.00
 -82.50
 -83.00
 -83.50
 -84.00
 -84.50
 -85.00
 -85.50
 -86.00
 -86.50
 -87.00
 -87.50
 -88.00
 -88.50
 -89.00
 -89.50
 -90.00
 -90.50
 -91.00
 -91.50
 -92.00
 -92.50
 -93.00
 -93.50
 -94.00
 -94.50
 -95.00
 -95.50
 -96.00
 -96.50
 -97.00
 -97.50
 -98.00
 -98.50
 -99.00
 -99.50
 -100.00
 -100.50
 -101.00
 -101.50
 -102.00
 -102.50
 -103.00
 -103.50
 -104.00
 -104.50
 -105.00
 -105.50
 -106.00
 -106.50
 -107.00
 -107.50
 -108.00
 -108.50
 -109.00
 -109.50
 -110.00
 -110.50
 -111.00
 -111.50
 -112.00
 -112.50
 -113.00
 -113.50
 -114.00
 -114.50
 -115.00
 -115.50
 -116.00
 -116.50
 -117.00
 -117.50
 -118.00
 -118.50
 -119.00
 -119.50
 -120.00
 -120.50
 -121.00
 -121.50
 -122.00
 -122.50
 -123.00
 -123.50
 -124.00
 -124.50
 -125.00
 -125.50
 -126.00
 -126.50
 -127.00
 -127.50
 -128.00
 -128.50
 -129.00
 -129.50
 -130.00
 -130.50
 -131.00
 -131.50
 -132.00
 -132.50
 -133.00
 -133.50
 -134.00
 -134.50
 -135.00
 -135.50
 -136.00
 -136.50
 -137.00
 -137.50
 -138.00
 -138.50
 -139.00
 -139.50
 -140.00
 -140.50
 -141.00
 -141.50
 -142.00
 -142.50
 -143.00
 -143.50
 -144.00
 -144.50
 -145.00
 -145.50
 -146.00
 -146.50
 -147.00
 -147.50
 -148.00
 -148.50
 -149.00
 -149.50
 -150.00
 -150.50
 -151.00
 -151.50
 -152.00
 -152.50
 -153.00
 -153.50
 -154.00
 -154.50
 -155.00
 -155.50
 -156.00
 -156.50
 -157.00
 -157.50
 -158.00
 -158.50
 -159.00
 -159.50
 -160.00
 -160.50
 -161.00
 -161.50
 -162.00
 -162.50
 -163.00
 -163.50
 -164.00
 -164.50
 -165.00
 -165.50
 -166.00
 -166.50
 -167.00
 -167.50
 -168.00
 -168.50
 -169.00
 -169.50
 -170.00
 -170.50
 -171.00
 -171.50
 -172.00
 -172.50
 -173.00
 -173.50
 -174.00
 -174.50
 -175.00
 -175.50
 -176.00
 -176.50
 -177.00
 -177.50
 -178.00
 -178.50
 -179.00
 -179.50
 -180.00
 -180.50
 -181.00
 -181.50
 -182.00
 -182.50
 -183.00
 -183.50
 -184.00
 -184.50
 -185.00
 -185.50
 -186.00
 -186.50
 -187.00
 -187.50
 -188.00
 -188.50
 -189.00
 -189.50
 -190.00
 -190.50
 -191.00
 -191.50
 -192.00
 -192.50
 -193.00
 -193.50
 -194.00
 -194.50
 -195.00
 -195.50
 -196.00
 -196.50
 -197.00
 -197.50
 -198.00
 -198.50
 -199.00
 -199.50
 -200.00
 -200.50
 -201.00
 -201.50
 -202.00
 -202.50
 -203.00
 -203.50
 -204.00
 -204.50
 -205.00
 -205.50
 -206.00
 -206.50
 -207.00
 -207.50
 -208.00
 -208.50
 -209.00
 -209.50
 -210.00
 -210.50
 -211.00
 -211.50
 -212.00
 -212.50
 -213.00
 -213.50
 -214.00
 -214.50
 -215.00
 -215.50
 -216.00
 -216.50
 -217.00
 -217.50
 -218.00
 -218.50
 -219.00
 -219.50
 -220.00
 -220.50
 -221.00
 -221.50
 -222.00
 -222.50
 -223.00
 -223.50
 -224.00
 -224.50
 -225.00
 -225.50
 -226.00
 -226.50
 -227.00
 -227.50
 -228.00
 -228.50
 -229.00
 -229.50
 -230.00
 -230.50
 -231.00
 -231.50
 -232.00
 -232.50
 -233.00
 -233.50
 -234.00
 -234.50
 -235.00
 -235.50
 -236.00
 -236.50
 -237.00
 -237.50
 -238.00
 -238.50
 -239.00
 -239.50
 -240.00
 -240.50
 -241.00
 -241.50
 -242.00
 -242.50
 -243.00
 -243.50
 -244.00
 -244.50
 -245.00
 -245.50
 -246.00
 -246.50
 -247.00
 -247.50
 -248.00
 -248.50
 -249.00
 -249.50
 -250.00
 -250.50
 -251.00
 -251.50
 -252.00
 -252.50
 -253.00
 -253.50
 -254.00
 -254.50
 -255.00
 -255.50
 -256.00
 -256.50
 -257.00
 -257.50
 -258.00
 -258.50
 -259.00
 -259.50
 -260.00
 -260.50
 -261.00
 -261.50
 -262.00
 -262.50
 -263.00
 -263.50
 -264.00
 -264.50
 -265.00
 -265.50
 -266.00
 -266.50
 -267.00
 -267.50
 -268.00
 -268.50
 -269.00
 -269.50
 -270.00
 -270.50
 -271.00
 -271.50
 -272.00
 -272.50
 -273.00
 -273.50
 -274.00
 -274.50
 -275.00
 -275.50
 -276.00
 -276.50
 -277.00
 -277.50
 -278.00
 -278.50
 -279.00
 -279.50
 -280.00
 -280.50
 -281.00
 -281.50
 -282.00
 -282.50
 -283.00
 -283.50
 -284.00
 -284.50
 -285.00
 -285.50
 -286.00
 -286.50
 -287.00
 -287.50
 -288.00
 -288.50
 -289.00
 -289.50
 -290.00
 -290.50
 -291.00
 -291.50
 -292.00
 -292.50
 -293.00
 -293.50
 -294.00
 -294.50
 -295.00
 -295.50
 -296.00
 -296.50
 -297.00
 -297.50
 -298.00
 -298.50
 -299.00
 -299.50
 -300.00
 -300.50
 -301.00
 -301.50
 -302.00
 -302.50
 -303.00
 -303.50
 -304.00
 -304.50
 -305.00
 -305.50
 -306.00
 -306.50
 -307.00
 -307.50
 -308.00
 -308.50
 -309.00
 -309.50
 -310.00
 -310.50
 -311.00
 -311.50
 -312.00
 -312.50
 -313.00
 -313.50
 -314.00
 -314.50
 -315.00
 -315.50
 -316.00
 -316.50
 -317.00
 -317.50
 -318.00
 -318.50
 -319.00
 -319.50
 -320.00
 -320.50
 -321.00
 -321.50
 -322.00
 -322.50
 -323.00
 -323.50
 -324.00
 -324.50
 -325.00
 -325.50
 -326.00
 -326.50
 -327.00
 -327.50
 -328.00
 -328.50
 -329.00
 -329.50
 -330.00
 -330.50
 -331.00
 -331.50
 -332.00
 -332.50
 -333.00
 -333.50
 -334.00
 -334.50
 -335.00
 -335.50
 -336.00
 -336.50
 -337.00
 -337.50
 -338.00
 -338.50
 -339.00
 -339.50
 -340.00
 -340.50
 -341.00
 -341.50
 -342.00
 -342.50
 -343.00
 -343.50
 -344.00
 -344.50
 -345.00
 -345.50
 -346.00
 -346.50
 -347.00
 -347.50
 -348.00
 -348.50
 -349.00
 -349.50
 -350.00
 -350.50
 -351.00
 -351.50
 -352.00
 -352.50
 -353.00
 -353.50
 -354.00
 -354.50
 -355.00
 -355.50
 -356.00
 -356.50
 -357.00
 -357.50
 -358.00
 -358.50
 -359.00
 -359.50
 -360.00
 -360.50
 -361.00
 -361.50
 -362.00
 -362.50
 -363.00
 -363.50
 -364.00
 -364.50
 -365.00
 -365.50
 -366.00
 -366.50
 -367.00
 -367.50
 -368.00
 -368.50
 -369.00
 -369.50
 -370.00
 -370.50
 -371.00
 -371.50
 -372.00
 -372.50
 -373.00
 -373.50
 -374.00
 -374.50
 -375.00
 -375.50
 -376.00
 -376.50
 -377.00
 -377.50
 -378.00
 -378.50
 -379.00
 -379.50
 -380.00
 -380.50
 -381.00
 -381.50
 -382.00
 -382.50
 -383.00
 -383.50
 -384.00
 -384.50
 -385.00
 -385.50
 -386.00
 -386.50
 -387.00
 -387.50
 -388.00
 -388.50
 -389.00
 -389.50
 -390.00
 -390.50
 -3

THIS DRAWING IS PROTECTED BY COPYRIGHT AND MUST NOT BE COPIED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF RGP PARTNERSHIP LIMITED. NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING. ALL DIMENSIONS AND SIZES TO BE CHECKED ON SITE. NORTH POINTS SHOWN ARE INDICATIVE. <

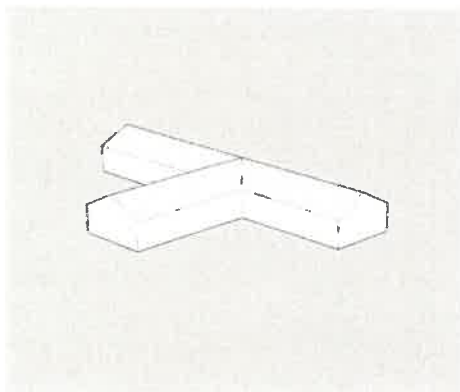
SITE SPECIFIC HAZARDS

IN ACCORDANCE WITH THE REQUIREMENTS OF THE CDM REGULATIONS 2015 THE FOLLOWING SIGNIFICANT RESIDUAL HAZARDS HAVE NOT BEEN DESIGNED OUT OF THIS PROJECT AND MUST BE TAKEN INTO CONSIDERATION BY CONTRACTORS PLANNING TO UNDERTAKE THE WORKS SHOWN ON THIS DRAWING:

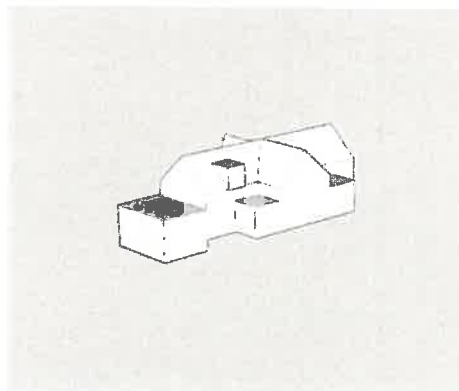
ORDNANCE SURVEY LICENCE

REPRODUCED FROM ORDNANCE SURVEY MASTERMAP DIGITAL DATA BY PERMISSION OF ORDNANCE SURVEY, ON BEHALF OF HER MAJESTY'S STATIONARY OFFICE. © CROWN COPYRIGHT 2010. ALL RIGHTS RESERVED. REFERENCE NUMBER 100008905.

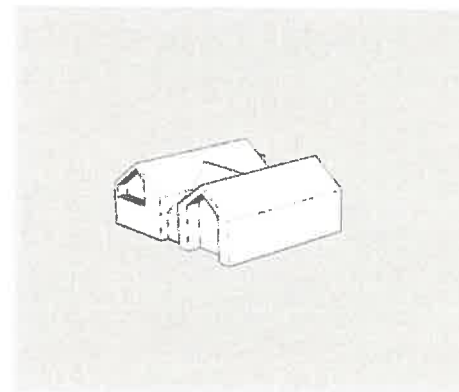
NOTES



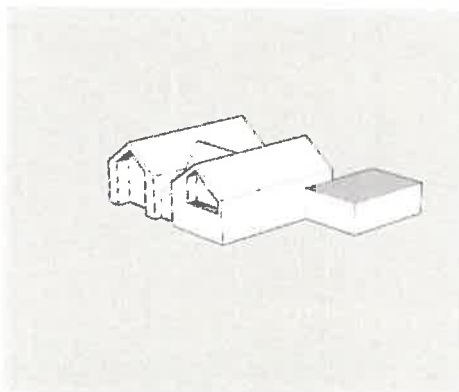
EXISTING BUILDING VOLUME:
929m³



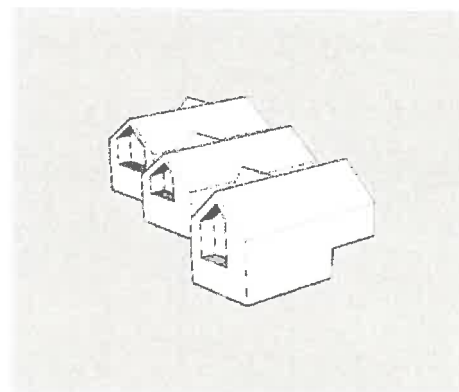
PROPOSED PLOT 1 VOLUME:
1010m³



PROPOSED PLOT 2 VOLUME:
1117m³



PROPOSED PLOT 3 VOLUME:
1117m³



PROPOSED PLOT 4 VOLUME:
1674m³

REV.	DATE	NOTES	INIT.
------	------	-------	-------

CLIENT / PROJECT
JEREMY BUCKLEY PROPERTIES
FORMER BLEAKLOW HALL
BOLTON ROAD, HAWKSHAW

DRAWING TITLE
EXISTING AND PROPOSED VOLUME STUDY

STATUS

PLANNING

DATE	DRAWN	SCALE @ A3
JAN 2019	AAS	NTS

PROJECT NUMBER	UNIT / BLOCK	CI / SFB CODE	TYPE & NUMBER	REVISION LETTER
----------------	--------------	---------------	---------------	-----------------

DRAWING NO.

10371

16

-

Site Location Plans	L	GA Plans	P	Elevations	E
Sections	S	Details	D	Profile Colour	C

THE RATCLIFFE GROVES PARTNERSHIP

MANCHESTER
105 MANCHESTER ROAD
BURY LANCASHIRE BL9 0TD
T. 0161 797 6000 E. manchester@rgp.uk.com
www.rgp.uk.com

LONDON
19 BEDFORD ROW
LONDON WC1R 4EB
T. 020 7600 6966 E. london@rgp.uk.com



	EMPTY THERMOCOAT TO BE RETAINED WITH TOP COAT ABOVE
	NEPTHERMOCOAT WITH EXCELLENT ROOT PROTECTION OVER BOND
	NEPTHERMOCOAT COARSE
	NEPTHERMOCOAT WITH FINEST THERMOCOAT TO BE USED
	BEST PERFORMANCE WITH THERMOCOAT WITH EXCELLENT BOND
	NEPTHERMOCOAT WITH FINEST THERMOCOAT TO BE USED
	NEPTHERMOCOAT WITH FINEST THERMOCOAT TO BE USED

189.9m

BOLTON ROAD

Water

M

THIS DOCUMENT IS THE PROPERTY OF THE CONSULTANT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT. THE CONSULTANT ASSUMES NO LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS, REVENUE, OR BUSINESS, OR FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES, OR FOR ANY LOSS OF DATA, OR FOR ANY OTHER DAMAGES, OR FOR ANY OTHER LOSS, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR IN CONNECTION WITH THE USE OF THIS DOCUMENT. THE CONSULTANT'S LIABILITY IS LIMITED TO THE DESIGN AND PROFESSIONAL SERVICES PROVIDED BY THE CONSULTANT.



(1) FRONT ELEVATION (BOLTON ROAD)



(2) FRONT ELEVATION (INTERNAL)

REF. DATE NOTES
 JEREMY BUCKLEY PROPERTIES
 FORMER BLEAKLOW HALL
 BOLTON ROAD, HAWKSHAW
 DRAWING TITLE
 PROPOSED SITE ELEVATIONS

OWNER: PLANNING
 DATE: JAN 2018
 PROJECT: AAS
 PROJECT NUMBER: 10371
 DRAWING NUMBER: E08
 THE RATCLIFFE GROVES PARTNERSHIP
 10371 BOLTON ROAD, HAWKSHAW, LEICESTERSHIRE LE15 1JY
 01530 810000
 www.ratcliffe.co.uk

ARCHITECT: RGP architects

IN ACCORDANCE WITH THE REQUIREMENTS OF THE COM REGULATIONS 2011 THE FOLLOWING SIGNIFICANT RESIDUAL HAZARDS HAVE NOT BEEN DESIGNED OUT OF THIS PROJECT AND MUST BE TAKEN INTO CONSIDERATION BY CONTRACTORS PLANNING TO UNDERTAKE THE WORKS SHOWN ON THIS DRAWING:

2m	Headroom
R	Ridgelight
RL	Rooflight



CLIENT / PROJECT
JEREMY BUCKLEY PROPERTIES
FORMER BLEAKLOW HALL
BOLTON ROAD, HAWKSHAW

DRAWING TITLE
PLOT 1
PROPOSED FLOOR PLANS

STATUS		PLANNING			
DATE		[DRAWN		SCALE @ A2	
JAN 19		RM		1:100	
PROJECT NUMBER	SHEET / BLOCK	C1 / SFB CODE	TYPE & NUMBER	REVISION LETTER	
DRAWING NO.					
10371			P05 -		
Site Location Plans	L	GA Plans	P	Elevations	
Sections	S	Details	D	Profile Colour	

THE RATCLIFFE GROVES PARTNERSHIP
MANCHESTER
105 MANCHESTER ROAD
BURY LANCASHIRE BL9 9TD
T. 0161 797 6098 E. manchester@rgp.co.uk
www.rgp.co.uk

LONDON
19 BEDFORD ROW
LONDON WC1R 4EB
T 020 7500 6995 E. london@rgd.nk.com



IN ACCORDANCE WITH THE REQUIREMENTS OF THE COM REGULATIONS 2015 THE FOLLOWING SIGNIFICANT RESIDUAL HAZARDS HAVE NOT BEEN DESIGNATED OUT OF THIS PROJECT AND MUST BE TAKEN INTO CONSIDERATION BY CONTRACTORS PLANNING TO UNDERTAKE THE WORKS SHOWN ON THIS DRAWING:



1. Random Coursed Stone
2. Smooth Stone
3. Cream-White Render
4. Vertical Standing Seam Metal Panel
5. Slate Roof
6. Glazed Sliding Doors
7. Glazing
8. Timber Door
9. Smooth Stone Header/Cill



CLIENT / PROJECT
JEREMY BUCKLEY PROPERTIES
FORMER BLEAKLOW HALL
BOLTON ROAD, HAWKSHAW

DRAWING TITLE
PROPOSED ELEVATIONS
PLOT 1

STATUS					PLANNING				
DATE		DRAWN		SCALE @ A2					
JAN 2019		AAS		1:100					
PROJECT NUMBER	UNIT / BLOCK	CU / IFS CODE		TYPE & NUMBER		REVISION LETTER			
10371				E05					

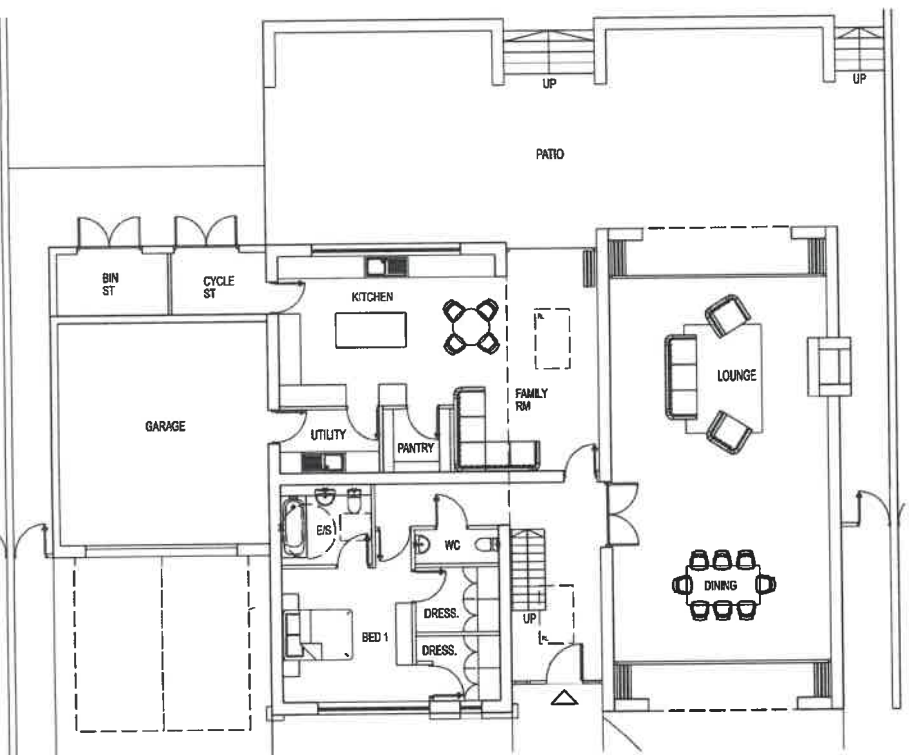
LONDON
19 BEDFORD ROW
LONDON WC1R 4EB
T. 020 7500 9996 E. london@rpa.co.uk

THIS DRAWING IS PROTECTED BY COPYRIGHT AND MUST NOT BE COPIED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF RJS ARCHITECTS LIMITED. NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING. ALL DIMENSIONS AND RULES TO BE CHECKED ON SITE. NORTH POINTS SHOWN ARE INDICATIVE.

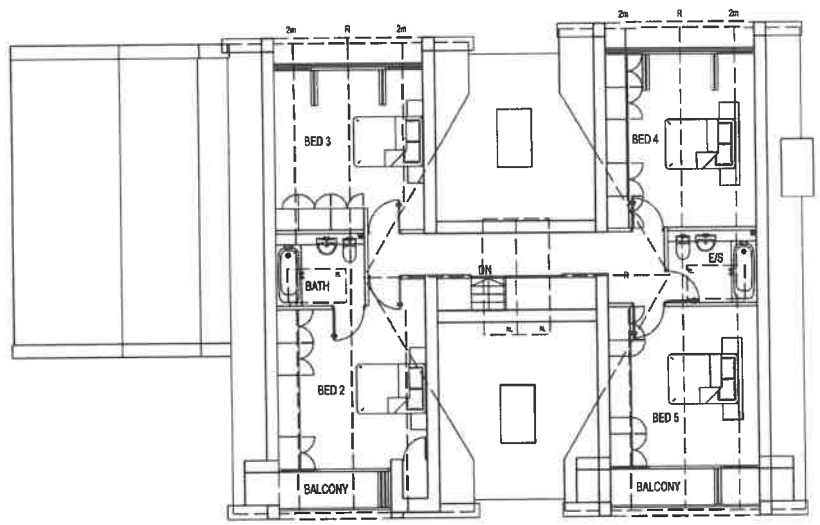
SITE SPECIFIC HAZARDS
IN ACCORDANCE WITH THE REQUIREMENTS OF THE CON REGULATIONS 2011 THE FOLLOWING SIGNIFICANT RESIDUAL HAZARDS HAVE NOT BEEN DESIGNED OUT OF THIS PROJECT AND MUST BE TAKEN INTO CONSIDERATION BY CONTRACTORS PLANNING TO UNDERTAKE THE WORKS SHOWN ON THIS DRAWING.

KEY:

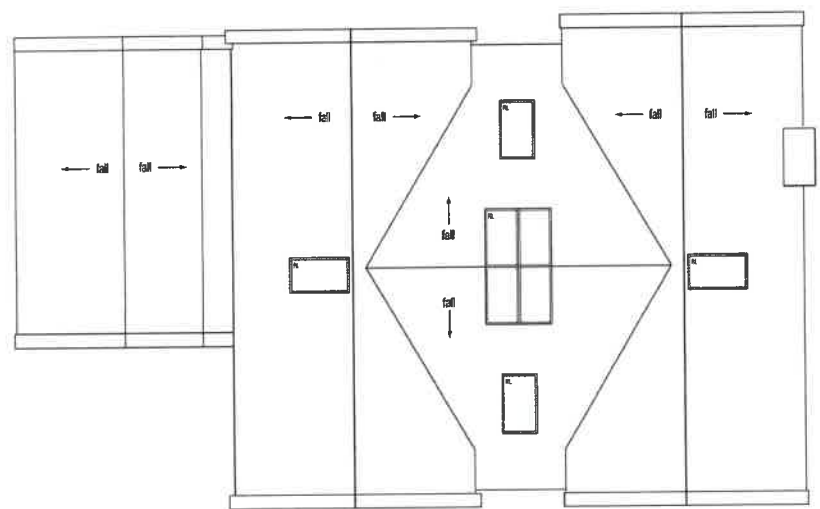
- 2m Headroom
- R Ridgeline
- RL Rooflight



GROUND FLOOR



FIRST FLOOR



ROOF PLAN



REV A 20.05.19 PLANNING ISSUE SPL
REV. DATE NOTES INT.

CLIENT / PROJECT
JEREMY BUCKLEY PROPERTIES
FORMER BLEAKLOW HALL
BOLTON ROAD, HAWKSHAW

DRAWING TITLE
PLOT 2
PROPOSED FLOOR PLANS

STATUS
PLANNING

DATE	DRAWN	SCALE @ A3
JUL 18	RM	1:100

PROJECT NAME	UNIT / BLOCK	CI / IFR CODE	TYPE & NUMBER	REVISION LETTER
10371			P02	A

Site Location Plan L GP Notes P Elevation E
Sections S Details D Plan Colour C

THE RATCLIFFE GROVES PARTNERSHIP

MANCHESTER
455 MANCHESTER ROAD
BURY LANCASHIRE BL9 9TD
T: 0161 797 0080 E: manchester@rjs.co.uk
www.rjs.co.uk

LONDON
75 NEWFORD ROAD
LONDON W12 4ER
T: 020 7400 0900 E: london@rjs.co.uk

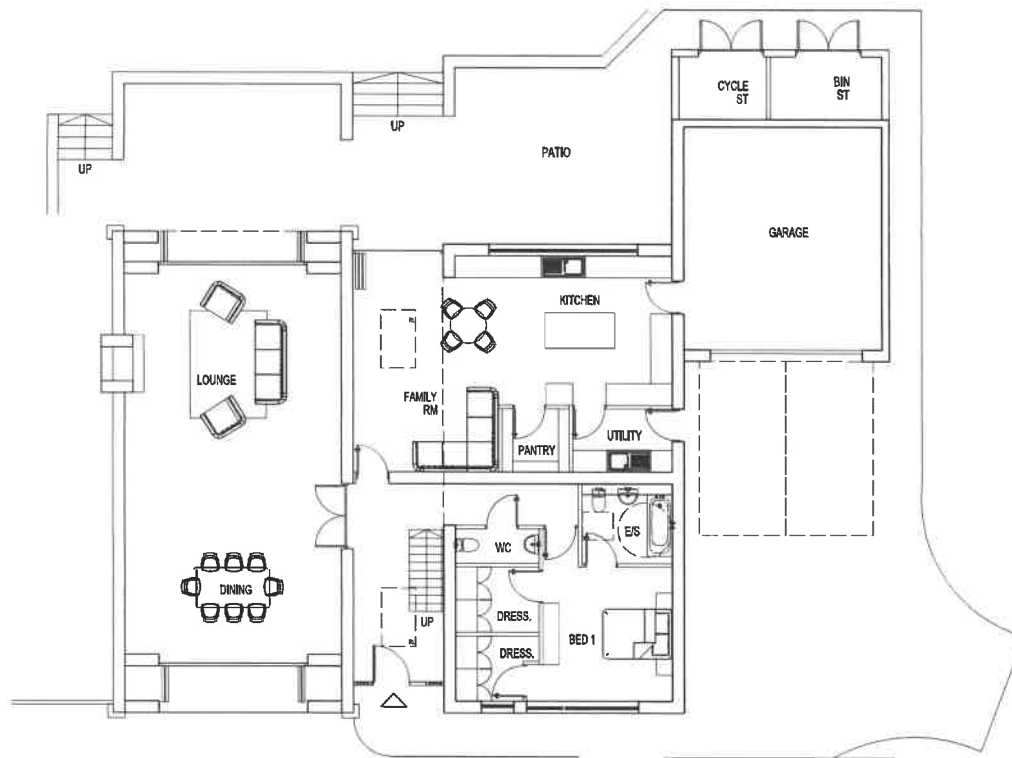
RJS
architects

SITE SPECIFIC HAZARDS

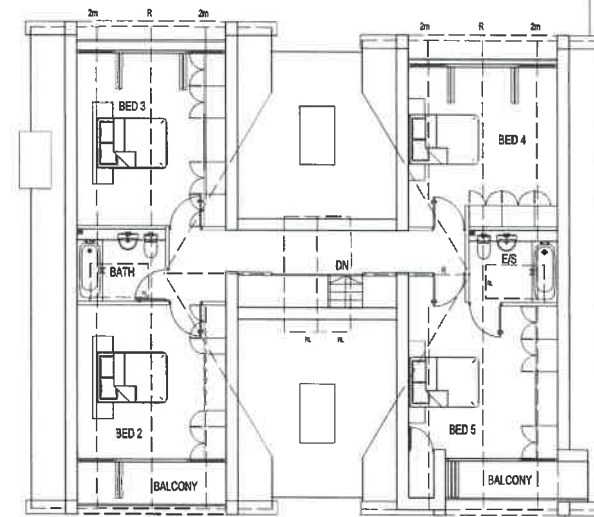
MATERIAL SCHEDULE

1. Random Coursed Stone
2. Smooth Stone
3. Cream-White Render
4. Vertical Standing Seam Metal Panel
5. Slate Roof
6. Glazed Sliding Doors
7. Glazing
8. Timber Door
9. Smooth Stone Header/C

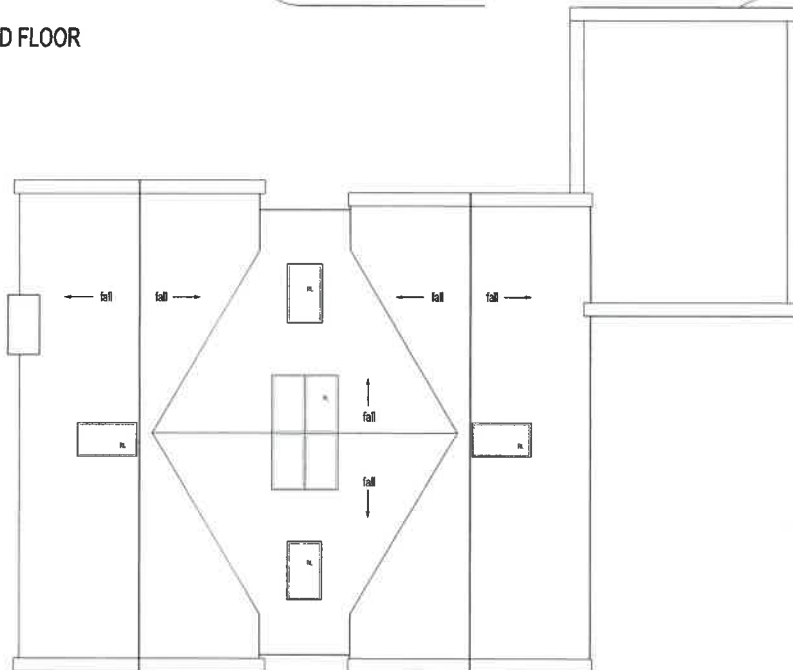




GROUND FLOOR



FIRST FLOOR



ROOF PLAN

THIS DRAWING IS PROTECTED BY COPYRIGHT AND MUST NOT BE COPIED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF R G PARTNERSHIP LIMITED. NO DIMENSIONS ARE TO BE TAKEN FROM THIS DRAWING. ALL DIMENSIONS AND SIZES TO BE SHOWN ON SITE. NORTH POINTS SHOWN AND INDICATED.

SITE SPECIFIC HAZARDS

IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION (C) ACT 1994, THE FOLLOWING INFORMATION HAS BEEN PROVIDED. THIS INFORMATION MUST BE TAKEN INTO CONSIDERATION BY CONTRACTORS PLANNING TO UNDERTAKE THE WORKS SHOWN ON THIS DRAWING.

KEY:

2m Headroom
R Riddellight
RL Rooflight

REV B.23.01.19 Updated to planning officer comments RSL
REV A.28.05.18 PLANNING ISSUE SPL
REV. DATE NOTES INT.

CLIENT / PROJECT
JEREMY BUCKLEY PROPERTIES
FORMER BLEAKLOW HALL
BOLTON ROAD, HAWKSHAW

DRAWING TITLE
PLOT 3
PROPOSED FLOOR PLANS

STATUS **PLANNING**

DATE JUL 18 DRAWN RM SCALE 1:100

PROJECT NUMBER UNIT BLOCK CODE TYPE & NUMBER REVISION LETTER

Drawings No. 10371 P03 B

Site Location Plans L SA Plans P Situations C
Sections B Details D Public Colour O

THE RATCLIFFE GROVES PARTNERSHIP
MANCHESTER
105 MANCHESTER ROAD
BURY, LANCASHIRE, UK B31 1ET
T: 0161 797 8000 E: manchester@rgp.co.uk
www.rgp.co.uk

LONDON
19 BEDFORD ROW
LONDON WC1R 4ES
T: 020 7468 6500 E: london@rgp.co.uk

RG
architects



SITE SPECIFIC HAZARDS

MATERIAL SCHEDULE

1. Random Coursed Stone
2. Smooth Stone
3. Cream-White Render
4. Vertical Standing Seam Metal Panel
5. Slate Roof
6. Glazed Sliding Doors
7. Glazing
8. Timber Door
9. Smooth Stone Header/Cill



CLIENT / PROJECT
JEREMY BUCKLEY PROPERTIES
FORMER BLEAKLOW HALL
BOLTON ROAD, HAWKSHAW
DRAWING TITLE
PROPOSED ELEVATIONS
PLOT 3

STATUS		PLANNING			
DATE		DRAWN		SCALE @ A2	
JAN 2019		AAS		1:100	
PROJECT NUMBER		UNIT / BLOCK	CB / SPD CODE	TYPE & NUMBER	REVIS. LETT.
DRAWING NO.		10371	E07		

Site Location Plans L GA Plans P Elevations
Sections B Details D Profile Colour

THE RATCLIFFE GROVES PARTNERSHIP
MANCHESTER
105 MANCHESTER ROAD
BURY LAKESHIRE BL9 9TD
T. 0181 797 4006 E. s.manchester@gpp.co.uk
www.rgpp.co.uk

LONDON
18 BEDFORD ROW
LONDON WC1R 4EB
T. 020 7600 4444 E. london@rps.ltd.com



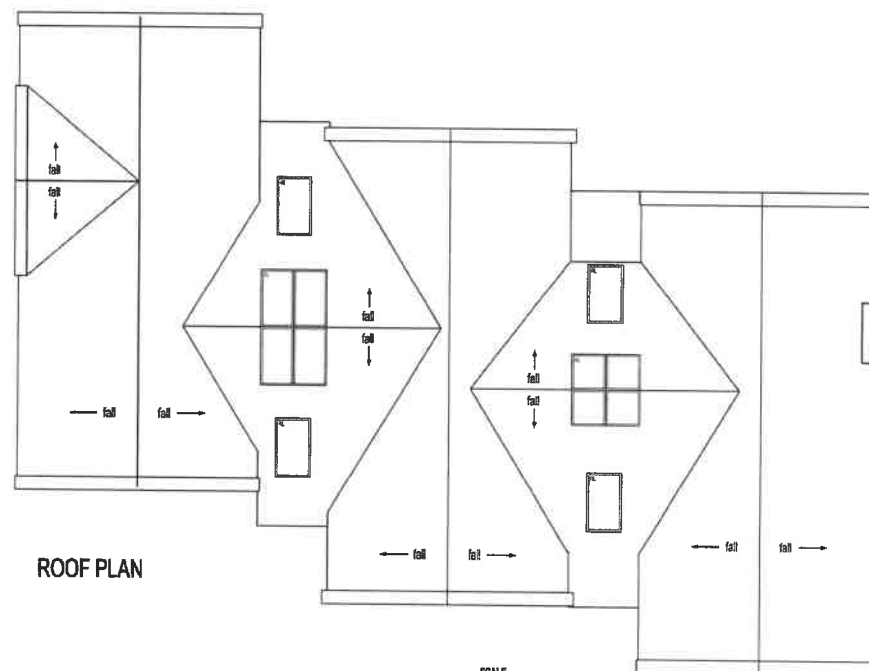
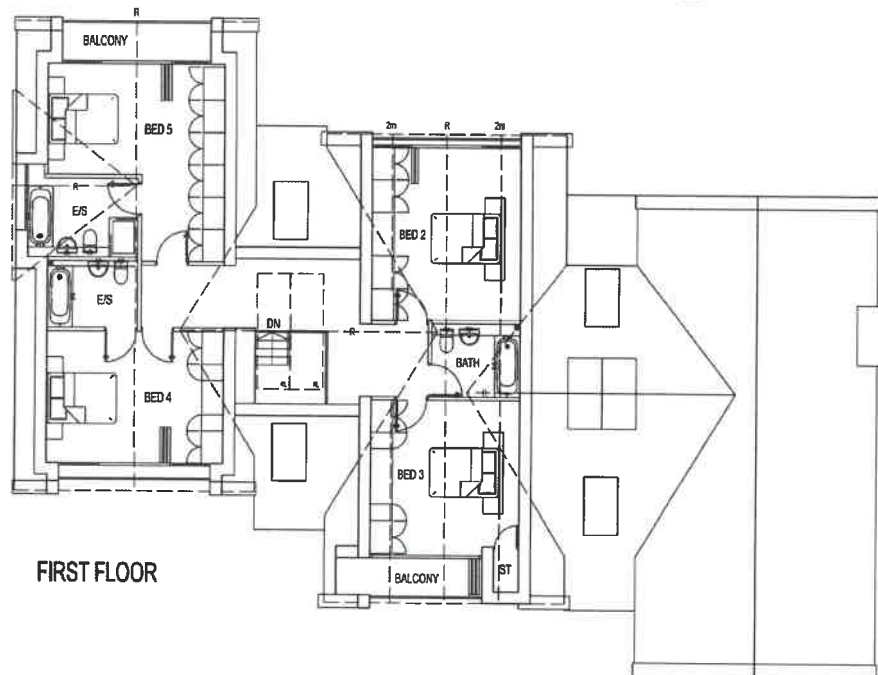
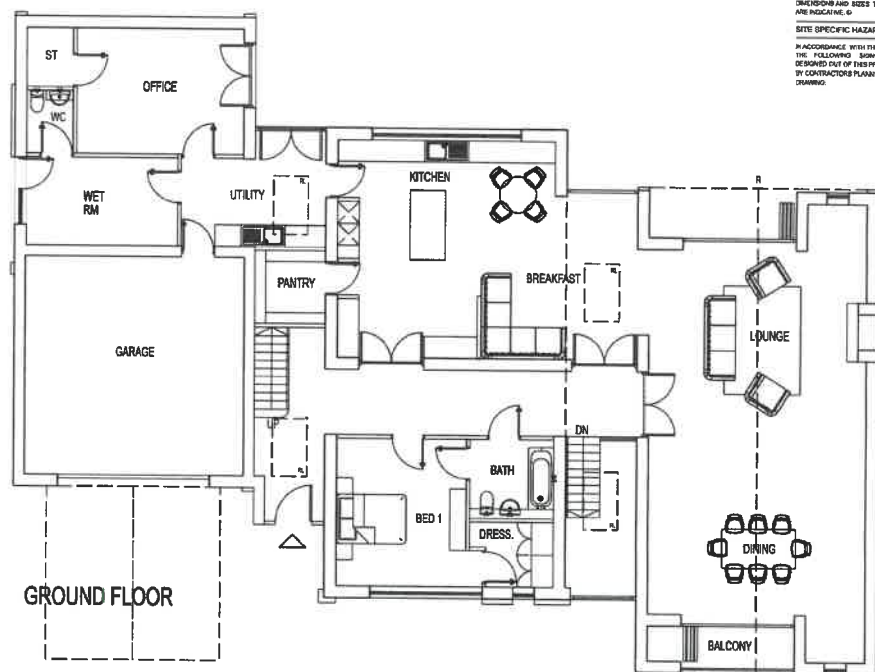
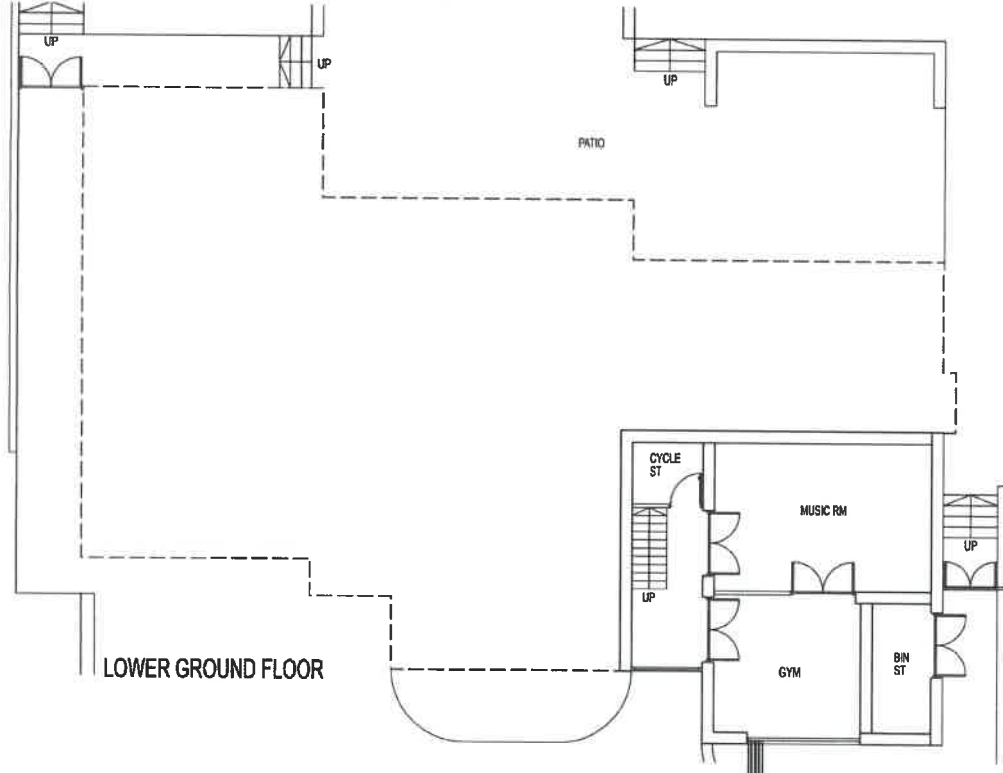
THIS DRAWING IS PROTECTED BY COPYRIGHT AND MUST NOT BE COPIED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF R & B PARTNERSHIP LIMITED. NO DIMENSIONS ARE TO BE SCALED FROM THE DRAWING. ALL DIMENSIONS AND SEES TO BE CHECKED ON SITE. NORTH POINTS SHOWN ARE INDICATIVE ONLY.

SITE SPECIFIC HAZARDS:

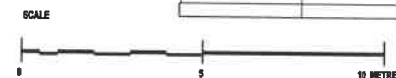
IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION (DESIGN) ACT 1994, THE FOLLOWING SIGNIFICANT RESIDENTIAL HAZARDS HAVE NOT BEEN DESIGNED OUT OF THIS PROJECT AND MUST BE TAKEN INTO CONSIDERATION BY CONTRACTORS PLANNING TO UNDERTAKE THE WORKS SHOWN ON THIS DRAWING.

KEY:

2m Headroom
R Ridgeline
RL Rooflight



REV. A	DATE	NOTES	REV. B
1	18/03/18	PLANNING ISSUE	
2	18/03/18	REVISED	
CLIENT / PROJECT			
JEREMY BUCKLEY PROPERTIES			
FORMER BLEAKLOW HALL			
BOLTON ROAD, HAWKSHAW			
DRAWING TITLE			
PLOT 4			
PROPOSED FLOOR PLANS			
STATUS			
PLANNING			
DATE	DRAWN	SCALE	
JUL 18	RM	1:100	
PROJECT NUMBER	UNIT / FLOOR	CI / DRN CODE	TYPE A NUMBER
10371			
DRAWING NO.			
10371			
Rev Location	Rev Date	Rev Date	Rev Date
Rev Location	Rev Date	Rev Date	Rev Date
THE RATCLIFFE GROVES PARTNERSHIP			
MANCHESTER			
88 MANCHESTER ROAD			
BURY LAKECHURCH BL3 0TD			
T: 0161 759 0000 E: manchester@rpg.co.uk			
www.rpg.co.uk			
LONDON			
14 BELSHAM ROAD			
LONDON W12 0LH			
T: 020 7460 0000 E: london@rpg.co.uk			
www.rpg.co.uk			



SITE SPECIFIC HAZARDS

MATERIAL SCHEDULE

1. Random Coursed Stone
2. Smooth Stone
3. Cream-White Render
4. Vertical Standing Seam Metal Panel
5. Slate Roof
6. Glazed Sliding Doors
7. Glazing
8. Timber Door
9. Smooth Stone Header/Cill



Ground Level
to Front



REV. A 20.08.18	PLANNING ISSUE	5F
REV. DATE	NOTES	IN

CLIENT / PROJECT
JEREMY BUCKLEY PROPERTIES
FORMER BLEAKLOW HALL
BOLTON ROAD, HAWKSHAW

DRAWING TITLE
PROPOSED ELEVATIONS
PLOT 4

STATUS					PLANNING				
DATE		DRAWN		SCALE @ A2			1:100		
06.07.18		RM							
PROJECT NUMBER	LWT / BLOCK	C / STB CODE	TYPE & NUMBER		REVISION LETTER				
10371			E04		A				

THE RATCLIFFE GROVES PARTNERSHIP

MANCHESTER
108 MANCHESTER ROAD
BURY LANCASHIRE BL9 0TD
T. 01494 797 6080 E. manchester@rtpc.uk.com

architect



Ward: Prestwich - St Mary's

Item 03

Applicant: Mrs Martha Winder

Location: 255 Bury New Road, Prestwich, Manchester, M25 9PB

Proposal: Retention of existing A3 cafe/restaurant use with extended opening hours and new glazed balustrade around existing forecourt area.

Application Ref: 63466/Full

Target Date: 15/01/2019

Recommendation: Approve with Conditions

Description

The application relates to a vacant cafe/restaurant (50sqm) in the middle of a row of four commercial properties which forms the Neighbourhood Centre comprising two A1 shops and an A3 cafe. The site is also within Prestwich St. Marys Conservation Area. The property has been opened as a restaurant in 2016 under the Government's 'Prior Approval' scheme which allowed the change of use of a Class A1 shop to a cafe/restaurant (Class A3) under Part 3 Class C(a) of The Town and Country Planning (General Permitted Development) (England) Order 2015. The subsequent planning application to regularise the use was approved in April 2018.

The site fronts Bury New Road with St. Marys Park opposite. There is a residential property at the end of the row on the corner of Bury New Road/St.Anns Road and to the rear there are residential properties on St. Ann's Road.

The current application proposes to maintain the A3 cafe/restaurant use but extend opening hours from the originally approved 22.00hrs to 23.00hrs Sunday to Thursday and 23.30hrs on Friday and Saturday and erect a glass balustrade around the existing external decked area on the frontage.

Prestwich town centre shopping facilities and St. Ann's Road/Shelley Road Neighbourhood Centre are both located approximately 600m from the application site.

Relevant Planning History

54677 - A - Retrospective application for Change of use from retail (Class A1) to cafe (Class A3).

B - Retrospective application for existing decking and balustrades at front. - Split Decision 23/02/2012

60001 - Prior approval for proposed change of use from shop (A1) to cafe/restaurant (A3) - Prior Approval Granted 03/06/2016

62397 - Change of use from hairdressers (Class A1) to restaurant (Class A3) - Approved 06/04/2018

Publicity

Press notice in Bury Times 29/11/18 and site notice posted 11/11/2018. The following neighbours were notified by letters dated 2/11/18 (Initial) and 31/01/2019 (revised).

Objections received from 2 and 4 St Anns Road, 253 and 259 Bury New Road and 1 Kenyon Lane are summarised:

- It would be inappropriate to allow later opening hours due to increased noise and disturbance.
- In the past with bins not being emptied and problems for delivery drivers at the rear as this is a communal lane for residents too.

- Concerns about pest control.
- Increase in rubbish and smoking outside my salon.
- Customers would be put off from coming to the salon if people are gathered outside the property smoking.

Further comments on revised plan from 4 St Anns Road.

- The new changes it does not make it clear what the extended opening hours are.
- The application has just changed the label from 'bar' to 'cafe/restaurant' but my MAIN concerns were about the opening hours.
- The responses from the owners about some of the objections I find absolutely ridiculous. For example, 'we will only play background music, not amplified music'. This is irrelevant as any sound travels and if you extend the opening hours then all of my issues with my son's bedroom and his sleep just get worse. The idea that they want to attract a more mature clientele is also irrelevant, more people travelling later to a venue will create more disturbance in a residential area. The idea these 'mature people' will all walk to the venue is again speculation. They will not they will drive or get taxis there is no parking and so we will get an increase in illegal and nuisance parking of vehicles on St Anns road.
- The fact I bought a property in a conservation and residential area should allow my family to expect 'peace and quiet'. I feel it is unfair for the premises to gain extended hours as it is totally not in keeping with the area. We live away from Prestwich village for a reason to avoid this kind of nuisance.

The objectors have been notified of the planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Management - No objection.

Environmental Health - No objection.

Conservation - No objection.

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions

Unitary Development Plan and Policies

EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN1/2	Townscape and Built Design
EN7/2	Noise Pollution
S1/5	Neighbourhood Centres and Local Shops
S2/6	Food and Drink
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Economic Growth and Impact on Shopping Centre. Before the initial change of use to cafe/restaurant, the shop had been vacant for over 12 months. The change of use to restaurant allowed the unit to be brought back into active use and maintained the vitality and viability of the small Local Neighbourhood Centre. However, the restaurant operated for approximately 2 years before closing, reflecting the difficulties currently experienced by businesses, particularly in local centres. Currently the vacant premises does not contribute positively to the viability or vitality of the Neighbourhood centre.

The applicant has revised the initial proposal to maintain a A3 cafe use, rather than extend it to A4 use, but in order to improve the viability of the business, the scheme involves improvements to the premises at the front and extending the opening hours. It is noted that the premises has been granted an alcohol licence. It is recognised that in many cases the lines between a cafe and a bar are blurred somewhat and much depends on the balance between food and drink and the individual nature of the proposal. The applicant however has stated that the premises would be in use as a daytime cafe and continuing to serve food into the evening with more alcoholic beverages. In general, the opening of a new cafe/bar in this area is a welcome development that would provide a local service in line with the NPPF core economic objective of sustainable development and the UDP policies relating to shopping centres and small businesses.

Residential Amenity. The application site has commercial premises either side and a flat above that would be associated with the ground floor use, being occupied by the premises manager. There is also a flat below the salon next door with access out to the rear.

The immediate neighbours raise reasonable concerns relating to noise and disturbance from the use and proposed extended hours.

The applicant, who is the owner, has recognised that the previous tenant operating the restaurant may have caused some problems and not run it as well as it could have been. It is now the intention for a new, experienced tenant to manage the cafe and with different working practices, would significantly reduce the impact on neighbouring amenity.

To mitigate the impact of the extended hours, increased controls can be imposed on the premises through conditions. These would include the control of amplified sound/music, limitations on the use of the forecourt and requirements to implement a waste management strategy to reduce littering, noise, vermin and access problems from wheelie bins in the rear yard. Delivery hours could also be imposed to prevent lorries loading/unloading at unsociable hours.

If the previous negative impacts of the restaurant are mitigated through conditions, the impact of the extended trading hours would not be so serious on surrounding residential amenity as to warrant refusing the application. The proposed use would comply with UDP Policy S2/6 Food and Drink

Visual Amenity and Character of Conservation Area. The application site is located on the eastern edge of St. Marys Conservation Area. The premises does not have any architectural merit and does not contribute to the character of the conservation area. There are no major external changes apart from the new balustrade around the existing decked forecourt and this would improve its appearance within the streetscape. The continued use of the property as an A3 cafe would have a positive impact on the vitality and appearance of the small shopping centre and wider conservation area.

The re-use of the building as a cafe on a modest scale would protect and enhance the character and appearance of the conservation area and would serve to enhance the viability of the St Marys Conservation Area. As such the use would comply with UDP Conservation Policies EN2/1 and EN2/2 and general policy EN1/2 Townscape and Built Design.

Parking and Access. When the initial change of use was proposed, there were concerns from the Traffic Section that there was no on-site parking associated with the premises. However over the last couple of years there have not been any serious issues with regard to parking recorded.

Although some dedicated parking would normally be required, the Council's guidance states that parking should be assessed on an individual basis, depending on the nature of the site. The cafe is on a main bus route with some on-street parking along St Ann's Road, however the applicant states that a significant proportion of customers would be local and walk. It is

noted that St Marys Park is directly across the road and a proportion of customers would be visiting the park and using its car park. Existing guidance in SPD 11 encourages the use of more environmentally friendly and sustainable modes of transport as well as being a development catering for local needs.

Double yellow line along the frontage should restrict parking along this part of Bury New Road and it is also noted that there are no objections to the proposal from immediate residents, including those on St Ann's Road.

Given the nature of the changes, scale of the premises and the specific location, the Traffic Team have no serious objection to the proposal which would comply with UDP Policy HT2/4 and Supplementary Guidance Note 11 relating to parking.

Bin Storage and Servicing. The existing rear yard area serves as the bin store and the business would be serviced as the other properties on the row. In the light of neighbour objections with regard to bins storage, collection and deliveries, it is considered appropriate to attach conditions that require the applicant to submit a waste management plan, so clarifying bin storage facilities and collection arrangements and restrict delivery times. With an appropriate plan in place and restricted delivery times, it is considered that the proposal would comply with the requirements of UDP policy HT2/4 with regard to refuse and servicing.

Objections - The concerns raised by the objectors have been addressed in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to the location plan and drawings numbered 255BNR-04-100 and 06-100 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The use hereby permitted shall not be open to customers outside the following times:
09.00 to 23.00hrs Sunday to Thursday
09.00 to 23.30hrs Friday and Saturday.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies S1/5 Neighbourhood Centres and Local Shops S2/6 Food and Drink of the Bury Unitary Development Plan.
4. The use of the external areas shall not be used by customers outside the following

times:

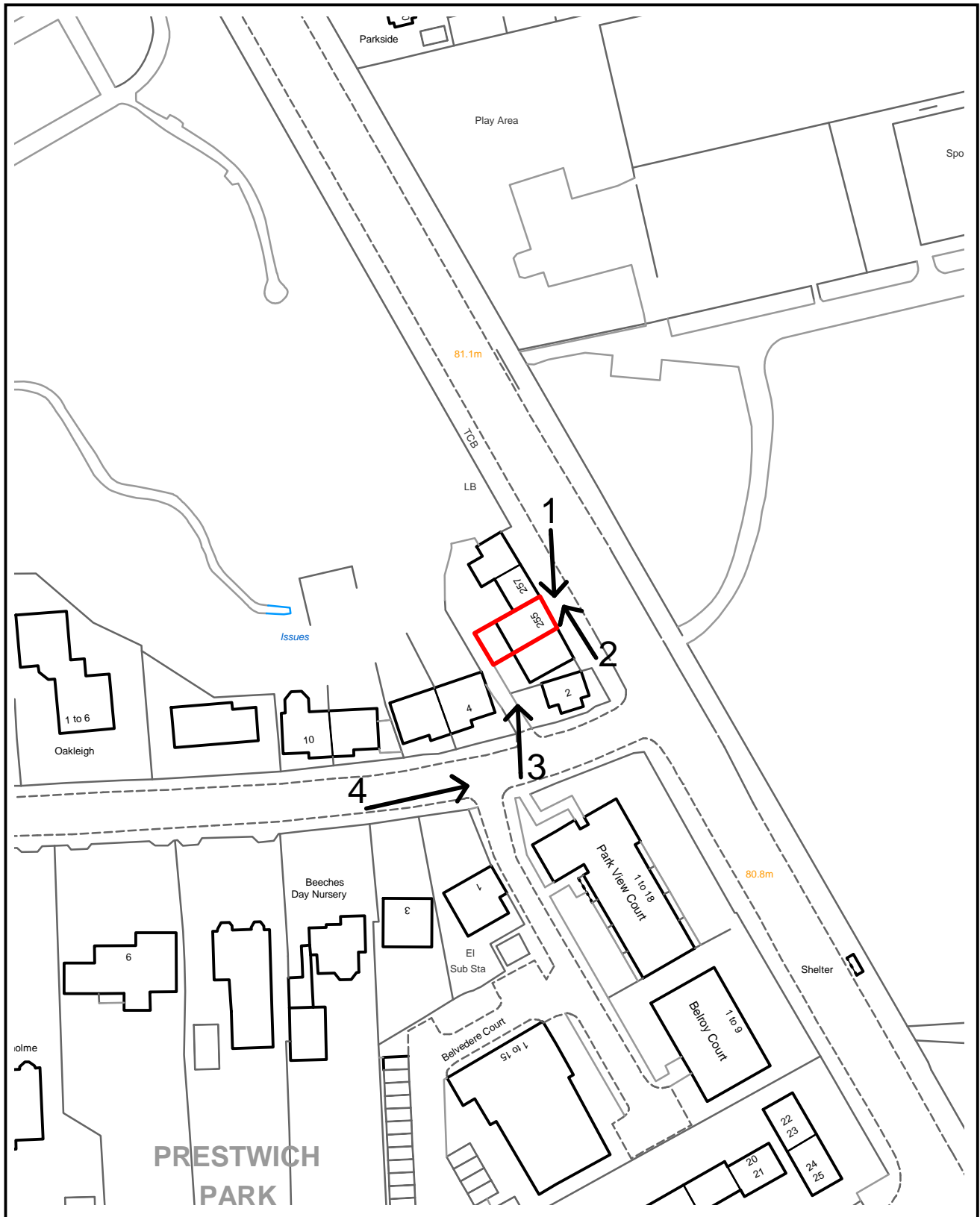
09.00 to 22.30hrs daily.

Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to UDP Policies S2/6 Food and Drink and EN7/2 Noise Pollution.

5. The shall be no deliveries to or from the site outside the hours of 09.00 to 18.00hrs Mondays to Saturdays.
Reason. In the interests of residential amenity pursuant to UDP Policies EN7/2 Noise Pollution, S2/6 Hot Food and Drink.
6. The development shall not be brought into use until details of refuse storage facilities and refuse storage plan for the development have been submitted to and approved in writing by the Local Planning Authority. The details shall include the location and design of the facilities and arrangements for the bins to be collected. The approved refuse storage facilities shall be implemented before the development is brought into use. Thereafter the refuse storage facilities and refuse storage plan shall operate in accordance with approved details.
Reason. In order to secure satisfactory bin storage in the interests of health and safety and residential amenity pursuant to the NPPF and UDP Policy S2/4 Food and Drink.
7. No live or amplified music, beyond normal background levels, shall be played on the premises at any time.
Reason. In the interests of residential amenity, pursuant to UDP Policies EN7/2 Noise Pollution and S2/6 Food and Drink.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63466

**ADDRESS: 255 Bury New Road
Prestwich**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

63466

Photo 1



Photo 2



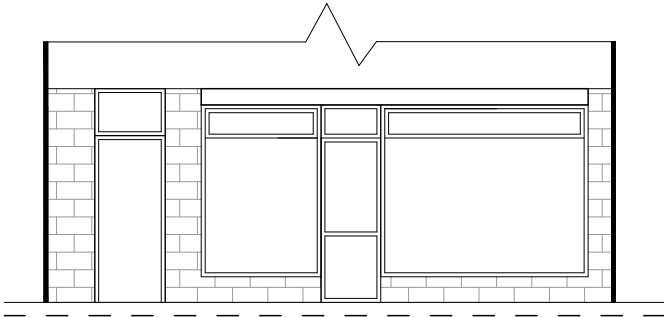
63466

Photo 3

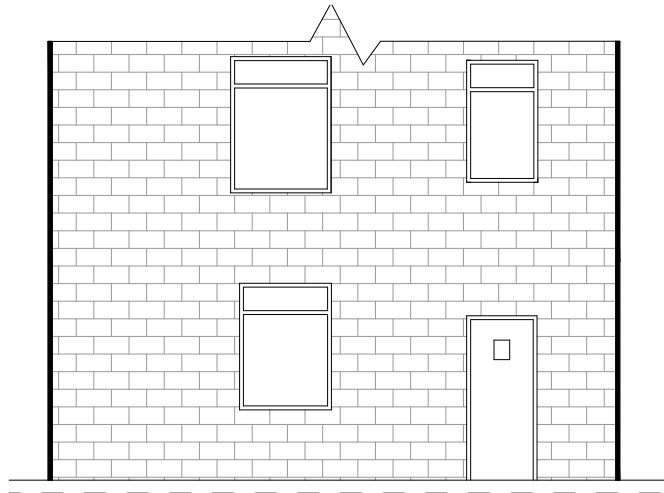


Photo 4

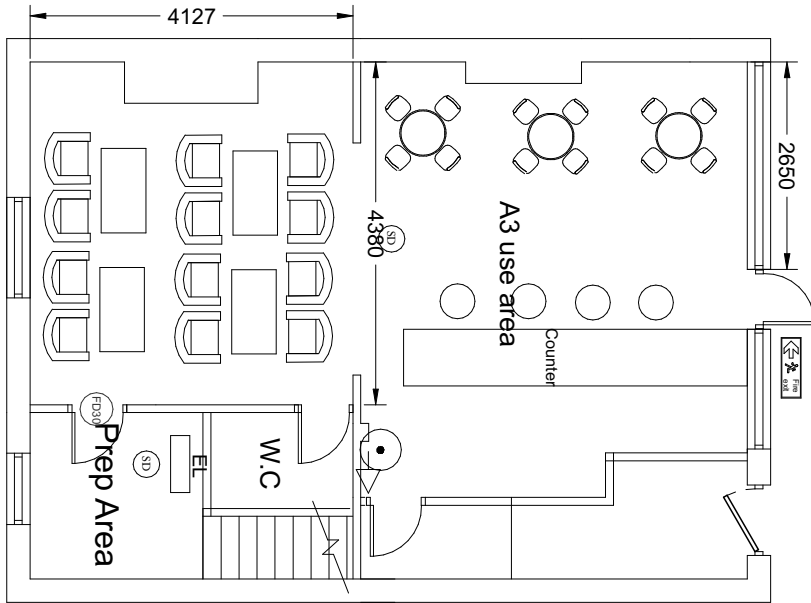




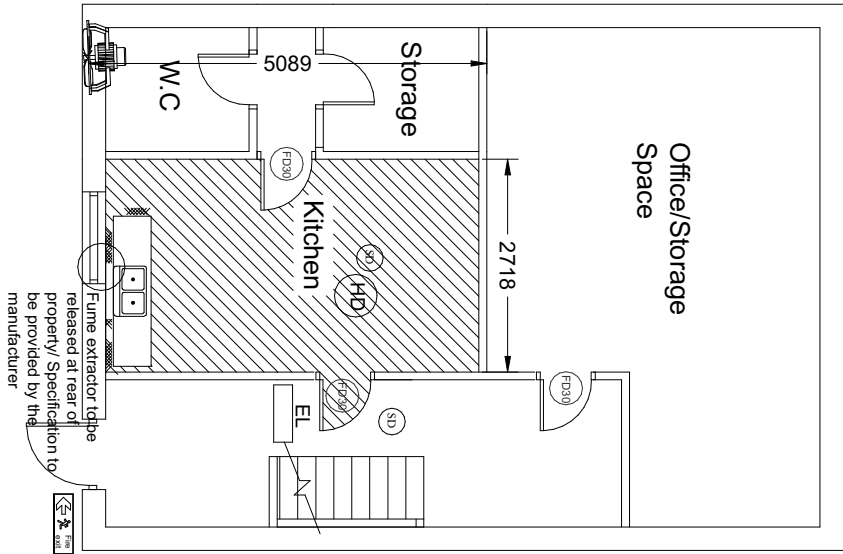
East Elevation
Facing onto Bury New Road



West Elevation
Facing rear yard



Ground Floor



Lower Ground Floor

General Notes

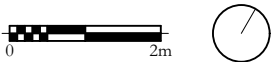
- To be read in conjunction with architectural drawings/documents issued in this package and coordination with other design packages.
- Package is to level of detail relevant to work stage only and is subject to further design development in coordination with M&E, structural/civil and landscape design packages.
- This is a design intent drawing for information only and is not to be used for construction unless expressly permitted.
- In the event of discrepancies, refer to the most detailed drawing.
- Do not scale drawing when printing.
- Contractor should verify all conditions on site and notify Contract Administrator of any variations from dimensions before construction.

Disclaimer

Any party in receipt of this document shall receive and hold the same in confidence and agrees not to duplicate or otherwise reproduce the document in whole or in part, nor disclose the contents of the same without the written consent of a Director of Camberwell & Metropolitan (Architecture) Ltd.

Drawing Notes

Rev.	Date	Description
-	31.01.19	For Planning

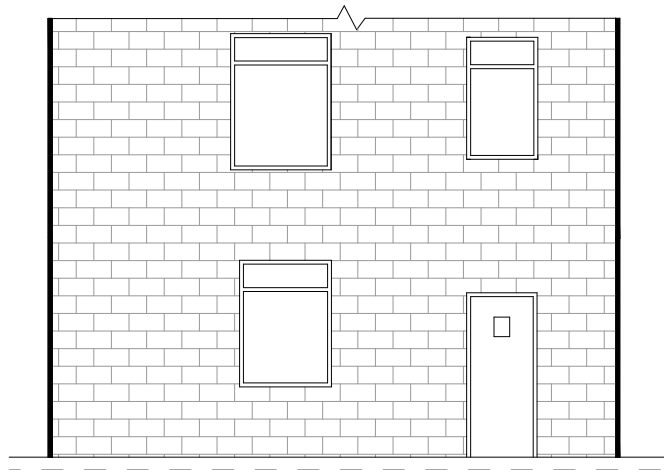


Camberwell & Metropolitan
80 Camberwell Road
London SE5 0EG
+44 (0)20 7708 2022
camberwell-metropolitan.com

Client First Draught	
Project Name 255 Bury New Road	
Drawing Name Existing Plans and Elevations	
Drawing No. 255BNR-04-100	Revision -
Scale 1:100 @ A3	Date 31.01.2019
Drawn By FY	Checked By FY



East Elevation
Facing onto Bury New Road

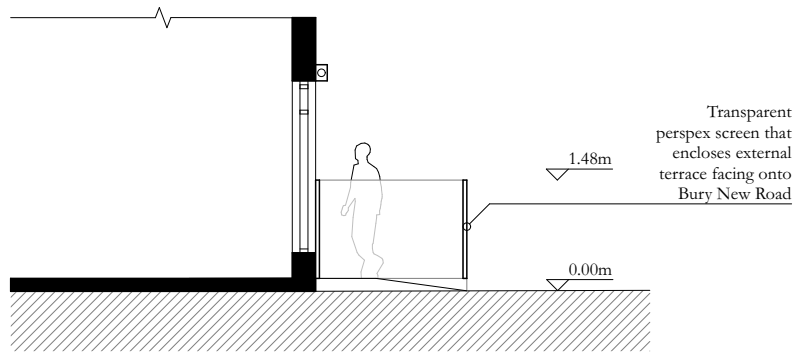


West Elevation
Facing rear yard

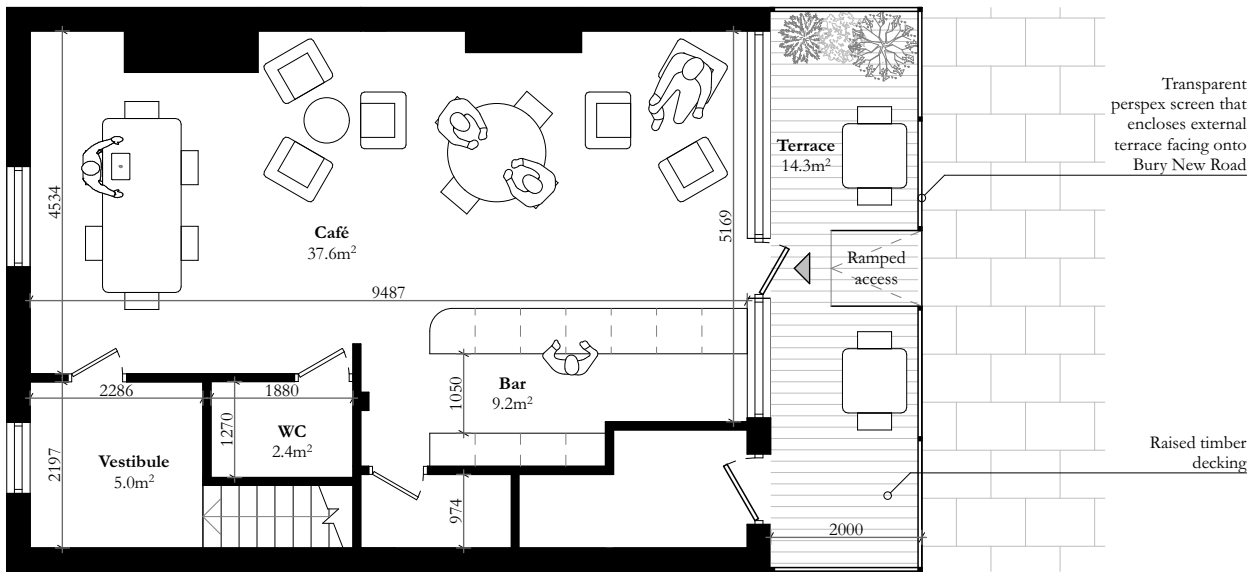


No. 253 No. 255 No. 257 No. 259

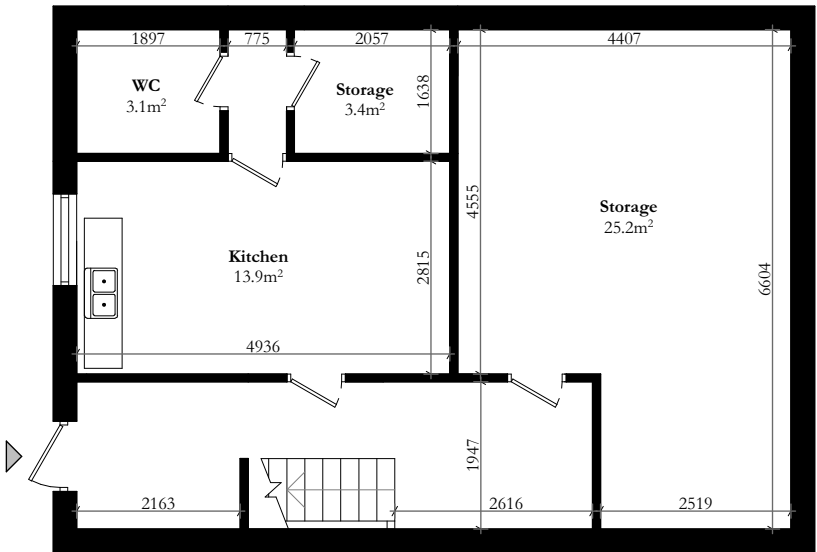
Street Elevation
Bury New Road (2018)



Section
Facing onto Bury New Road



Ground Floor



Lower Ground Floor

General Notes

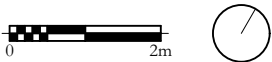
- To be read in conjunction with architectural drawings/documents issued in this package and coordination with other design packages.
- Package is to level of detail relevant to work stage only and is subject to further design development in coordination with M&E, structural/civil and landscape design packages.
- This is a design intent drawing for information only and is not to be used for construction unless expressly permitted.
- In the event of discrepancies, refer to the most detailed drawing.
- Do not scale drawing when printing.
- Contractor should verify all conditions on site and notify Contract Administrator of any variations from dimensions before construction.

Disclaimer

Any party in receipt of this document shall receive and hold the same in confidence and agrees not to duplicate or otherwise reproduce the document in whole or in part, nor disclose the contents of the same without the written consent of a Director of Camberwell & Metropolitan (Architecture) Ltd.

Drawing Notes

Rev.	Date	Description
-	31.01.19	For Planning



Camberwell & Metropolitan
80 Camberwell Road
London SE5 0EG
+44 (0)20 7708 2022
camberwell-metropolitan.com

Client First Draught	
Project Name 255 Bury New Road	
Drawing Name Proposed Plans and Elevations	
Drawing No. 255BNR-06-100	Revision -
Scale 1:100 @ A3	Date 31.01.2019
Drawn By FY	Checked By FY

Ward: Bury East

Item 04

Applicant: The Heaton Group

Location: 14-16 St Marys Place, Bury, BL9 0DZ

Proposal: Change of use from massage institute (Class D1) to 2 no. 7-bed houses of multiple occupation (HMO); External alterations to include replacement windows/doors, bicycle/bin storage at rear and boundary wall/gates at rear

Application Ref: 63520/Full

Target Date: 30/01/2019

Recommendation: Approve with Conditions

Description

The application relates to two adjoining mid-terraced properties (circa 1845) within the grade II listed row comprising 2-20 St Marys Place which also lies within Bury Town Centre Conservation Area. St Marys Place is in within the historic business district and fronts onto an open square now used for parking.

The terrace, built in the late Georgian style, is mainly two-storey but with cellars and a usable roof space. Each property within the terrace is of two bays with three windows and a door in the front elevation and both single and two storey outshots and a mix of windows at the rear, including some 20th century dormers in the roof. All roofs are pitched and covered in natural blue slate. The properties were built as dwellings in the expanding residential part of the town centre that prospered in the early to middle of the 19th century. The original rear gardens are now completely taken over by private car parking/ open hardstanding.

The properties subject to the application have been knocked through to form one unit and significantly altered internally. They were last used as offices and training rooms for a massage organisation (The Northern Institute of Massage) which falls into a D1 (Non-Residential Institution) use class.

The red brick property has a slate roof and has had some unfortunate external alterations over the years, predominantly at the rear, including a flat roof dormer, brick infill and replacement Upvc windows.

The property has been vacant for almost 2 years and has been actively marketed by the current estate agents, Nolan Redshaw since February 2018.

It is proposed to change the use of the property from the current D1 (Non-Residential Institution) use to two separate houses in multiple occupation (HMOs), each with 7 bedrooms. There would be 3 units on each of the ground and first floors within each HMO with a seventh unit within each roof space. Each HMO would also have a communal diner/kitchen area within the basement with natural light coming in from the reinstated original grill openings on the St Marys pavement frontage.

Externally, all the windows would be replaced with traditional timber framed, sliding sash and case style windows to match the original design. Doors would be composite and in a style to match the original design. At the rear a new boundary wall (900mm) with railings (600mm) above would enclose yard areas which would comprise a cycle store, bin store and a small communal area. The main pedestrian access would be from St Marys Place with a secondary rear access from the back road.

Internally there would be various alterations, some involving restoration of original features such as doorway arches, cornices, stair spindles the opening up of original doorways and removal of stud walls. However some alterations involve the loss, or covering over of, some Georgian details by adding stud walling in other places. A Heritage Statement (14/11/18, Mountaineer Ltd) was submitted with the application and sets out the impact the proposal would have on the significance of the listed buildings. The impact of the works is discussed in greater detail in the Listed Building application ref:63521, which was submitted with this application and is presented at this Planning Control Committee meeting.

Relevant Planning History

02195/E - Residential development comprising 2 HMO's - Enquiry completed 16/10/2018
63521 - Listed Building Consent for change of use from massage institute (Class D1) to 2 no. 7 bed houses of multiple occupation (HMO) (Sui Generis) with internal alterations and external alterations to include replacement windows/doors, bicycle/bin storage at rear and boundary wall/gates at rear - Undecided.

Publicity

Press notice in Bury Times 13/12/18 and site notice posted 05/12/19. The following neighbours were notified by letter dated 05/12/18. 1-21 St Marys Place, 1, 5 Bank Street, 2 Manchester Road, Bury Employment Service Silver Street.

Four objections received from the following properties: Nos10-12, 15-17, 18, 21 St Marys Place. The objections are summarised below:

- The area is characterised by professional and business services and should remain so.
- The area is part of the 'business district' of Bury and introducing residential would lessen its appeal.
- It would have a detrimental impact on the listed building and character of the conservation area.
- Parking, which is already bad, would be made worse as residents would have cars.
- Flats would be more suited to outside of town.
- If the proposal is approved, businesses would move away.
- Issue of noise in this location next to the train station and taxis in St Marys Place at night.

The objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objection.

Environmental Health - No objection.

HMO Officer - No objection.

Conservation - No objection subject to conditions.

Waste Management - No objection.

Greater Manchester Police - No objection.

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions.

Unitary Development Plan and Policies

Area	Manchester Road/Knowsley Street
BY4	
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN7	Pollution Control
HT2/4	Car Parking and New Development
H1/2	Further Housing Development
H2/4	Conversions
SPD11	Parking Standards in Bury

SPD13	Conversion of Buildings to Houses in Multiple Occupation
SPD15	Residential Conversions
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies - Sections 66 and 72 of the Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 (PLBCAA) requires Local Planning Authorities to consider the desirability for the preservation and enhancement of conservation areas and listed buildings including their setting.

In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

The NPPF advocates positive strategies for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other risks. In doing so, they should recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance.

Paragraph 189 states that in determining applications, LPA's should require an applicant to describe the significance of any heritage assets affected, including any contribution to their setting. The level of detail should be proportionate to the asset's importance and no more than is sufficient to understand the potential impact of the proposal on their significance.

Paragraph 190 states that Local Planning Authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

Paragraph 191 states that where there is evidence of deliberate neglect of, or damage to, a heritage asset, the deteriorated state of the heritage asset should not be taken into account in any decision.

In paragraph 192, LPA's should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraphs 193 and 194 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of a Grade II listed building should be exceptional. Paragraph 195 - Where a proposed development will lead to substantial harm to (or loss or significance of) a designated heritage asset, LPA's should refuse consent unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh the harm or loss, or all of the following apply:

- the nature of the heritage asset prevents all reasonable uses of the site; and
- no viable use of the heritage itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- conservation by grant funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and
- the harm or loss is outweighed by the benefit of bringing the site back into use.

Paragraph 196 states that where a development proposals would lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

UDP Policy EN1/1 Visual Amenity states that development will not be permitted where proposals would have a detrimental effect on:

- a) public views of prominent or important buildings, especially those in areas of architectural or historic interest;
- b) the visual amenity both within, or viewed from, areas of environmental interest such as the Green Belt, Special Landscape Areas or the river valleys.

Policy EN2/1 Character of Conservation Areas

The Council will take action as appropriate to preserve or enhance the character or appearance of the Borough's Conservation Areas.

The Council will be especially concerned with encouraging and, where appropriate, implementing measures to:

- a) retain, replace and restore features of historical and architectural interest;
- b) retain and enhance existing landscape features including trees, parks and gardens;
- c) initiate and promote environmental improvement/enhancement schemes such as landscaping, refurbishment of street furniture, traffic management and pedestrian schemes;
- d) remove dereliction and bring unused land or buildings back into beneficial use;
- e) prepare and promote design guidelines to ensure sympathetic development.

Policy EN2/3 - Listed Buildings aims at safeguarding the character and setting of Listed Buildings by not permitting works, alterations or changes of use which would have a detrimental effect on their historical or architectural character and features.

In considering applications for Listed Building Consent, the Council will have regard to the following criteria:

- a) the impact of the proposal on the historic fabric of the building;
- b) the relationship of any extension to the Listed Building in terms of its height, size, design, and roofscape;
- c) the need to protect the setting of the Listed Building;
- d) the impact of associated ancillary facilities and infrastructure works.

In assessing these proposals in terms of the grade II listed building, there are three main elements to consider -

- the alterations to the building,
- impact of the access road and parking on the trees and
- the impact of the scheme on the setting of the listed buildings.

Economy/ Marketing - The property has been vacant for almost two years and has been actively marketed by the current estate agents, Nolan Redshaw, since February 2018. A

supporting statement by Nolan Redshaw has been submitted with the application, setting out how the property has been marketed over this period. The marketing included:

- Erection of a sales board at the premises
- Details of the premises on the agents website and other search engines (Realla, Proplist, Showcase)
- Targeted emails/mailing to commercial agents and applicants on database.

The report states that from last February, there was only limited interest with three parties viewing with a residential scheme in mind. There was no interest in terms of office or educational use. The report summarises the possible reasons for the lack of interest:

- Dated premises
- Traditional layout and design not suited to more modern open plan arrangement.
- Low demand for town centre offices, preferring edge of town site for easier access to motorway.
- General maintenance is time consuming and expensive.

Principle/Use - The site is located within an area that is characterised by commercial uses, mainly small scale offices. Whilst similar commercial/office uses would be appropriate, within a town centre site, outside the prime shopping areas, a variety of uses may also be considered appropriate, particularly where it would result in bringing a vacant property back into active use and, in the case of a listed building, facilitating renovation and improvement of that building.

Current state of the building

A comprehensive condition report has been submitted with the application which details the state of the building internally and externally. In summary, the building is serviceable but its condition is continuing to deteriorate and decline.

The works which would be required and the level of investment which would be needed to bring the building back to a proper and usable state would require investment, and this would be required to not only bring it back to a reasonable and usable condition, but one which would secure its longevity for the future.

Debate centres around striking a planning balance between the preservation of the building for the future, and the extent of works and possible impacts this could have on its Listed status and its Significance as a Heritage Asset. This is discussed below.

Alterations to building - In terms of the alterations to the building, the proposed programme of renovation works, externally, is not extensive. The most significant external changes relate to replacement windows as they have degraded over time and have been inappropriately replaced in many cases. The timber sliding sash and case replacements are considered appropriate in terms of design and historical accuracy.

The existing Upvc rainwater goods on the main building would be removed and replaced with traditional style cast aluminium. On the St Marys frontage the original 'infilled' lightwell on the right hand side would be reinstated and covered with a metal grill in similar style to the existing lightwell on the left hand side of the property.

At the rear, the yard would be enclosed with a brick boundary wall with decorative metal railings and would include a small amenity space, a cycle store and a bin store.

Internally there are significant alterations, including new walls, the removal of other stud walls and the impact of both external and internal alterations on the listed building has been assessed by the Conservation officer below. The building works would undoubtedly preserve and enhance the site's heritage value as well as improving its economic viability. The Conservation Officer considers that the alterations to the buildings are appropriate and in line with guidance within the NPPF and UDP Policy. As such the proposals, as they relates to the building, are considered to be appropriate and would preserve the special character of the building.

Impact on Listed Building and character of Conservation Area - The original terraced row was constructed with clear emphasis on the front elevation. This has a finely coursed brick elevation in largely Flemish bond with stone banding, stone heads and sills to openings and a hidden stone gutter with cornice, and a stone plinth. Window frames were originally 8 over 8 and 6 over 6 timber sliding sashes with glazing bars. Doorways had ornate fanlights, dentilled lintels, rubbed brick arched heads, and ionic pilasters within the reveal with ornate capitals and bases. Stone steps were set forward of each doorway. Some brick chimney stacks remain. Many original elements remain though most window frames have been altered to have top opening lights, though still with the original glazing bar pattern. Two windows in the terrace have been enlarged. The setting at the front is formed by 1 to 21 St Mary's Place which is a pastiche Georgian/Victorian 1970s/80s group in brick and slate forming a square on the site of the former swimming baths. It is also partly formed by the side and rear of the Georgian terrace fronting Manchester Road.

There has been significant change at the rear with a mix of rebuilt walling, rendered and painted walls, altered and blocked off windows and doors and the introduction of private car parking. The setting at the rear is formed by the late 20th century employment exchange and the rear of the Unitarian Church, The Exchange office, highway and parking. The rear of all these buildings does not provide a high quality setting within the conservation area.

The application properties, 14 and 16, have been previously altered internally by the removal and adding of walls and the formation of the loft space, all of which has led to loss of fabric and heritage significance. The important features that remain are the lower staircases, some window and door architraves, fireplaces, and cornices and corbel ornamentation.

Overall, the heritage significance of the building and its contribution to the conservation area is held in its important front elevation, with internal features and rear elevation and site being of less importance.

It is proposed that numbers 14 and 16 are converted to HMOs with an internal re-arrangement that involves removing many of the later stud walls and reverting to many elements of the original layout. Other internal changes involve covering some original but plain fireplaces, additional stud walling to external walls that will in some cases cover original features, and re-ordering of the stairway between the first and second floors. The latter involves both restoration and loss of the Georgian details. Externally, the front windows are to be replaced with copies of the original sliding sash timber frames, with slimline double glazing units. A similar alteration has previously been allowed at numbers 18 and 20. The non-original front doors are to be replaced with panelled composite doors to a design consistent with the building's original patterns. Some doors and windows, and a few original window frames, are to be altered but with the design of window frames consistent with the original patterns. At the rear, the site is to be enclosed by a boundary comprising a 900mm wall with 600mm railings above. Access to the yard area would be through metal gates to match the railings. There is a heritage statement, submitted with the application, which addresses all relevant issues and the necessary detailed scheme/drawings have been provided to understand the proposals.

The proposals involve both the restoration of, and the loss of, heritage fabric. The new window frames and doors will restore important elements of the front elevation. The internal layout will be partly restored, but some elements such as fireplaces, some cornicing and architraves, and parts of the Georgian stair, will be temporarily hidden or lost. It could be said that the enclosure of what was the rear garden goes back to what was originally on site, though this will be in contrast with the openness of the car parking around. The changes to the rear elevations are quite limited.

The front elevation is the most significant part of the building and to its conservation area setting. This will be restored. The limited loss of internal features and change to the site at the rear are seen to have minimal impact as these are not seen to be key to the significance

of the listed building and the conservation area. There will therefore be no harm caused to the significance of these designated heritage assets. Subject to appropriate conditions, the local planning/heritage policies and the NPPF 2018 requirements will be met.

Residential amenity - The immediate vicinity of the site is characterised by offices and as such there are no existing residential properties affected.

The impact on future residents within the HMOs however needs to be assessed. Given that the immediate neighbours are offices that operate during normal daytime hours, there are no serious noise and disturbance issues arising.

There are no serious residential amenity concerns with regard to the proposed HMO use and as such the proposal is acceptable and complies with the NPPF and UDP Policy H2/4 Conversions and SPD13 relating to HMOs.

Highway and Parking - There is no on site parking although a cycle store (12 spaces) is proposed in the rear yard. The site is within the town centre and therefore is highly sustainable in terms of transport links. Given its central location and the potential traffic generated by the current D1 institutional use, the proposed HMOs are considered acceptable in terms of the impact on traffic. The Traffic Team have no objection to the proposed change of use which is considered to comply with the NPPF and UDP Policies HT2/4 Car Parking and New Development and H2/4 Conversions.

Disabled Access - As the properties are accessed from the street by steps, with no lifts or ramps, the accessibility for mobility impaired is currently limited. Given the nature of the site and surroundings and its listed status, it would be extremely difficult to make the buildings fully accessible without significantly and detrimentally affecting the character of the building. It is therefore considered that in this case, there are exceptional circumstances that would allow the scheme not to be fully accessible in terms of Building Regulations Approved Document M.

Objections - The concerns of the objectors have been addressed in the above report. Although the proposed use is different to the surrounding commercial/office uses, residential use is not unusual within a town centre and is indeed being increasingly encouraged as a more sustainable form of living for certain people.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date

of this permission.

Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings numbered S18-1040 (Topo), P001 - P19, P020/A, P021/A, P022/A, P023/A, P024/B, P025/A, P026B, AL_21_021(window detail) and the following documents:
Supporting Statement, Design and Access Statement, Heritage Statement/Photographs and Crime Impact Statement.
The development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Details/Samples of materials to be used in the external elevations, boundary wall/railings and areas of hardstanding, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

4. No development shall commence until full details/samples of the replacement sliding sash and case windows and doors and associated fittings/doorbells/letterboxes have been submitted to the Local Planning Authority for written approval. The approved details shall be implemented in full.

Reason. Samples/further details have not been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

5. Development shall not commence until a detailed schedule of proposed internal works, including restoration and replacement of specified original architectural features, is submitted to the Local Planning Authority for written approval. The approved schedule of works shall be carried out in complete accordance with those details.

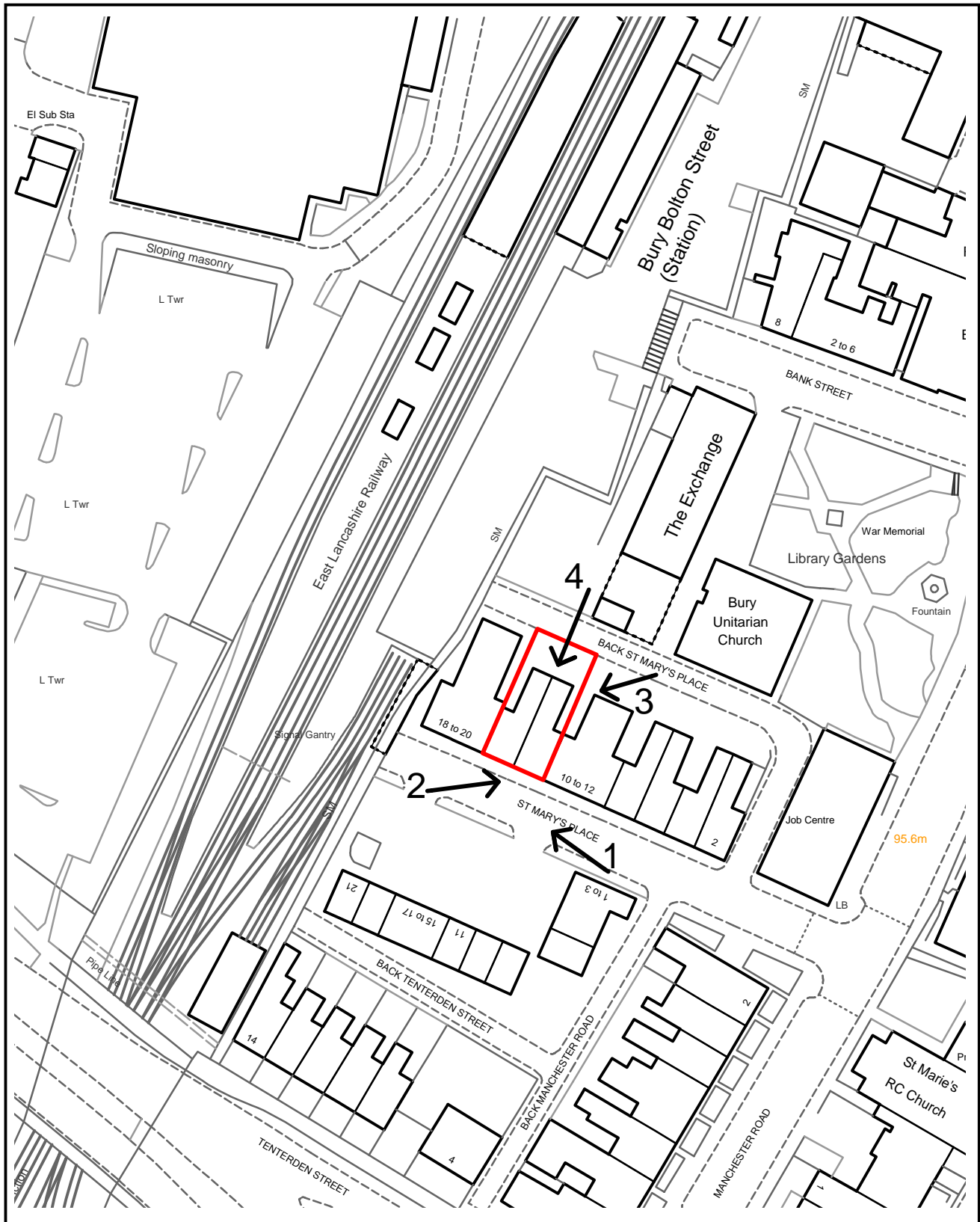
Reason. In order to preserve features of special architectural or historical interest and as provided for under Section 17(1) (a) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

6. The proposed bin store shall be completed and made available for use prior to the first occupation of the premises and shall be maintained in situ thereafter.

Reason. In order to secure appropriate refuse collection arrangements pursuant to UDP Policy H2/4 Conversions.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63520

**ADDRESS: 14-16 St Marys Place
Bury**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

63520

Photo 1



Photo 2



63520

Photo 3



Photo 4



Materials:

Windows:

- Double glazed timber sliding sash windows, white in style to match existing (or similar to Local Authority approval).

Doors:

- Composite door and frame to front and rear entrances. Doors and frames painted black (or similar to Local Authority approval).

Boundary Treatment:

- New red facing brick boundary wall (0.9m high, colour/texture to match existing building) with high quality black metal decorative railings above (2.1m from ground level) (or similar to Local Authority approval).



Note:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

All dimensions and levels to be checked on site.

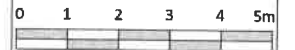
Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

Drawing Amendment:

rev	date	drawn	checked
A	05/12/18	CTW	AT
Amendments as per LPA request			
-	07/11/18	CTW	AT
Initial Issue			



Scale 1:100 @ A3

Project Title

Bury
St. Mary's Place

Drawing Title

Proposed
Elevations (North)

Project No:
T777

Drawing No:
P022

Date:
05.12.2018

Scale:
1:100 @ A3

Stage:
Stage 3

Revision:
A

Drawn By:
CTW

Auth By:
AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk



Materials:

Windows:

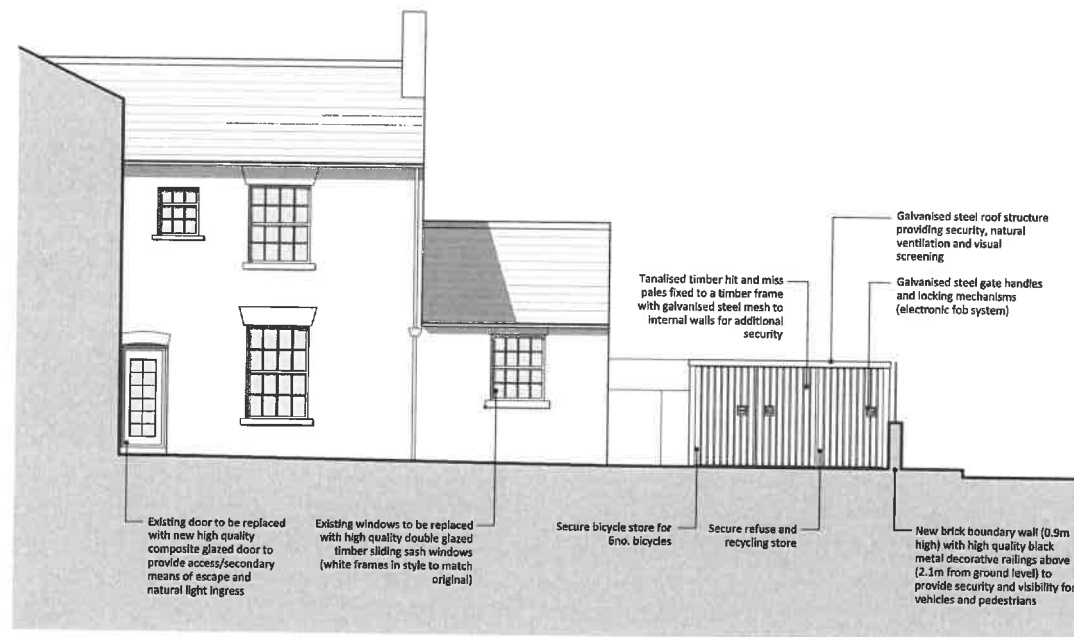
- Double glazed timber sliding sash windows, white in style to match existing (or similar to Local Authority approval).

Doors:

- Composite door and frame to front and rear entrances. Doors and frames painted black (or similar to Local Authority approval).

Boundary Treatment:

- New red facing brick boundary wall (0.9m high, colour/texture to match existing building) with high quality black metal decorative railings above (2.1m from ground level) (or similar to Local Authority approval).



Note:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

All dimensions and levels to be checked on site.

Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

Drawing Amendment:

rev	date	drawn	checked
A	05/12/18	CTW	AT
Amendments as per LPA request			
-	07/11/18	CTW	AT
Initial issue			

0 1 2 3 4 5m

Scale 1:100 @ A3

Project Title

Bury
St. Mary's Place

Drawing Title

Proposed
Elevations (East)

Project No.
T777

Drawing No.
P021

Date
05.12.2018

Scale
1:100 @ A3

Stage
Stage 3

Revision
A

Drawn By
CTW

Auth By
AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk



Materials:

Windows:

- Double glazed timber sliding sash windows, white in style to match existing (or similar to Local Authority approval).

Doors:

- Composite door and frame to front and rear entrances. Doors and frames painted black (or similar to Local Authority approval).

Lightwell:

- New decorative black metal grille, (design to match existing adjacent), with new artstone slab surround detail (or similar to Local Authority approval).



Notes:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

All dimensions and levels to be checked on site.

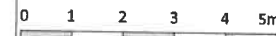
Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

Drawing Amendment:

Rev	date	drawn	checked
A	05/12/18	CTW	AT
Amendment as per LPA request			
-	07/11/19	CTW	AT
Initial Issue			



Scale 1:100 @ A3

Project Title

**Bury
St. Mary's Place**

Drawing Title

**Proposed
Elevations (South)**

Project No. T777	Drawing No. P020
Date 05.12.2018	Scale 1:100 @ A3
Stage Stage 3	Revision A
Drawn By CTW	Auth By AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk



Materials:

Windows:

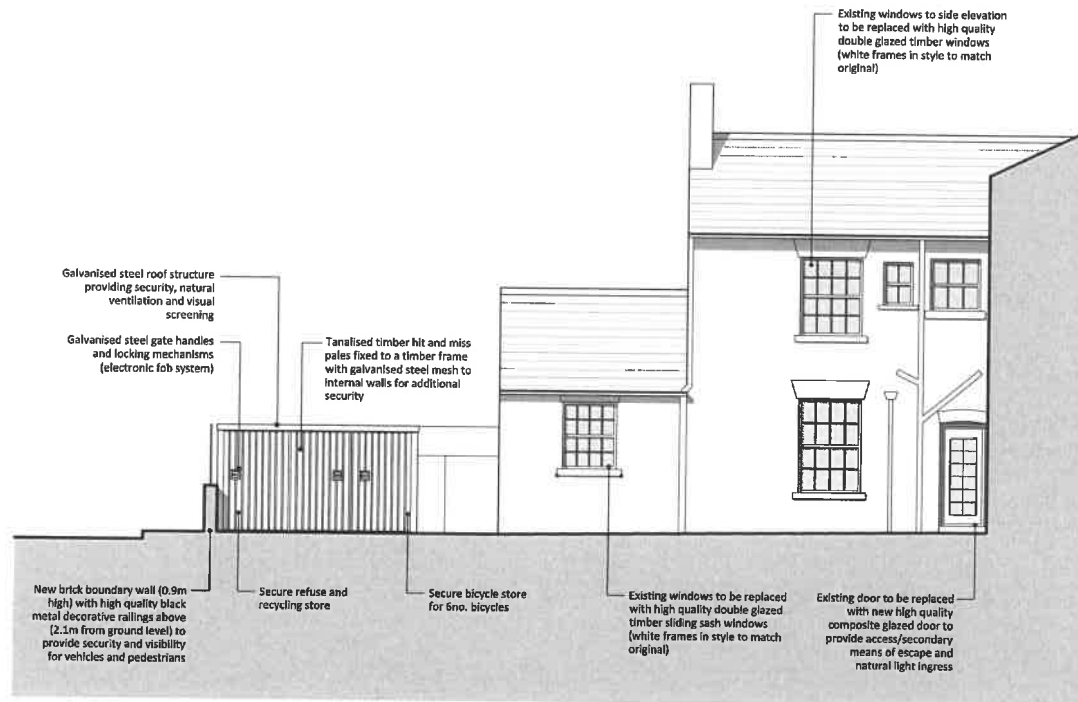
- Double glazed timber sliding sash windows, white in style to match existing (or similar to Local Authority approval).

Doors:

- Composite door and frame to front and rear entrances. Doors and frames painted black (or similar to Local Authority approval).

Boundary Treatment:

- New red facing brick boundary wall (0.9m high, colour/texture to match existing building) with high quality black metal decorative railings above (2.1m from ground level) (or similar to Local Authority approval).



Note:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

All dimensions and levels to be checked on site.

Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

Drawing Amendment:

rev	date	drawn	checked
A	05/12/18	CTW	AT
Amendments as per LPA request			
-	07/11/18	CTW	AT
Initial Issue			

0 1 2 3 4 5m

Scale 1:100 @ A3

Project Title

Bury
St. Mary's Place

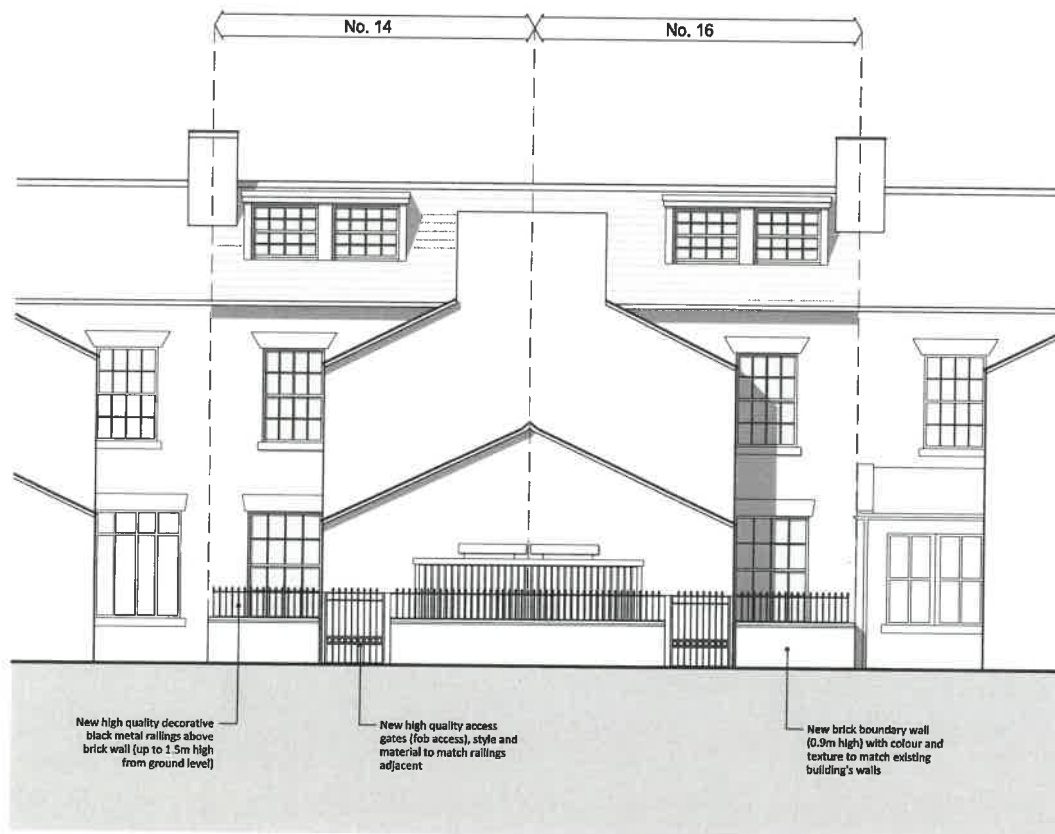
Drawing Title

Proposed
Elevations (West)

Project No. 1777	Drawing No. P023
Date 05.12.2018	Scale 1:100 @ A3
Stage Stage 3	Revision A
Drawn By CTW	Auth By AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk





Existing railings at the end of St. Mary's Place.



Example of brick wall and ornamental metal railing boundary treatment (for illustrative purposes only).



Example of brick wall and ornamental metal railing boundary treatment (for illustrative purposes only).

Note:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

All dimensions and levels to be checked on site.

Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

Drawing Amendment:

rev	date	drawn	checked
B	16/01/19	CTW	AT
Amendments as per LPA request			
A	05/12/18	CTW	AT
Amendments as per LPA request			
-	07/11/18	CTW	AT
Initial issue			

0 1 2 3 4 5m

Scale 1:100 @ A3

Project Title

**Bury
St. Mary's Place**

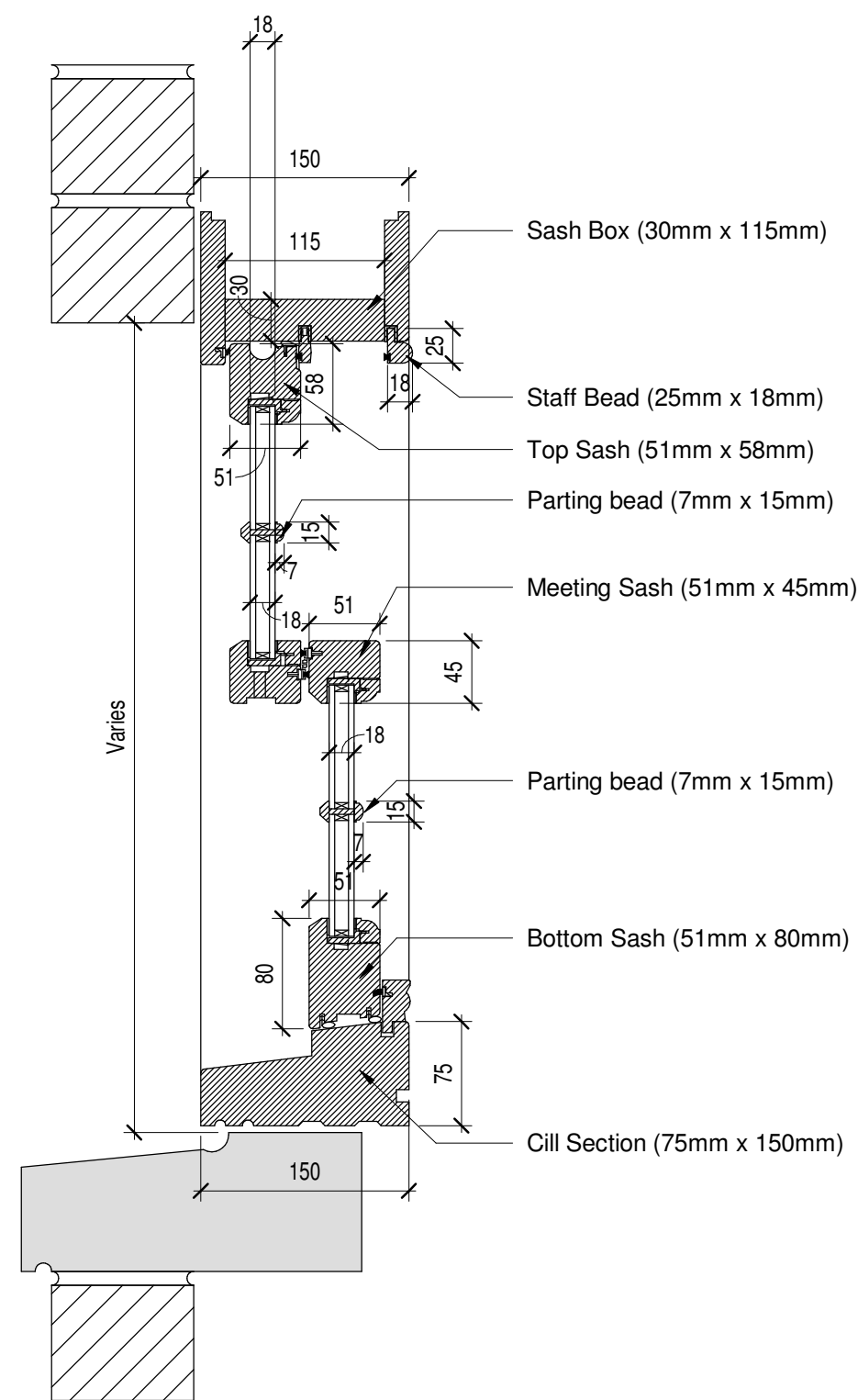
Drawing Title

**Proposed Elevations
(Boundary Detail)**

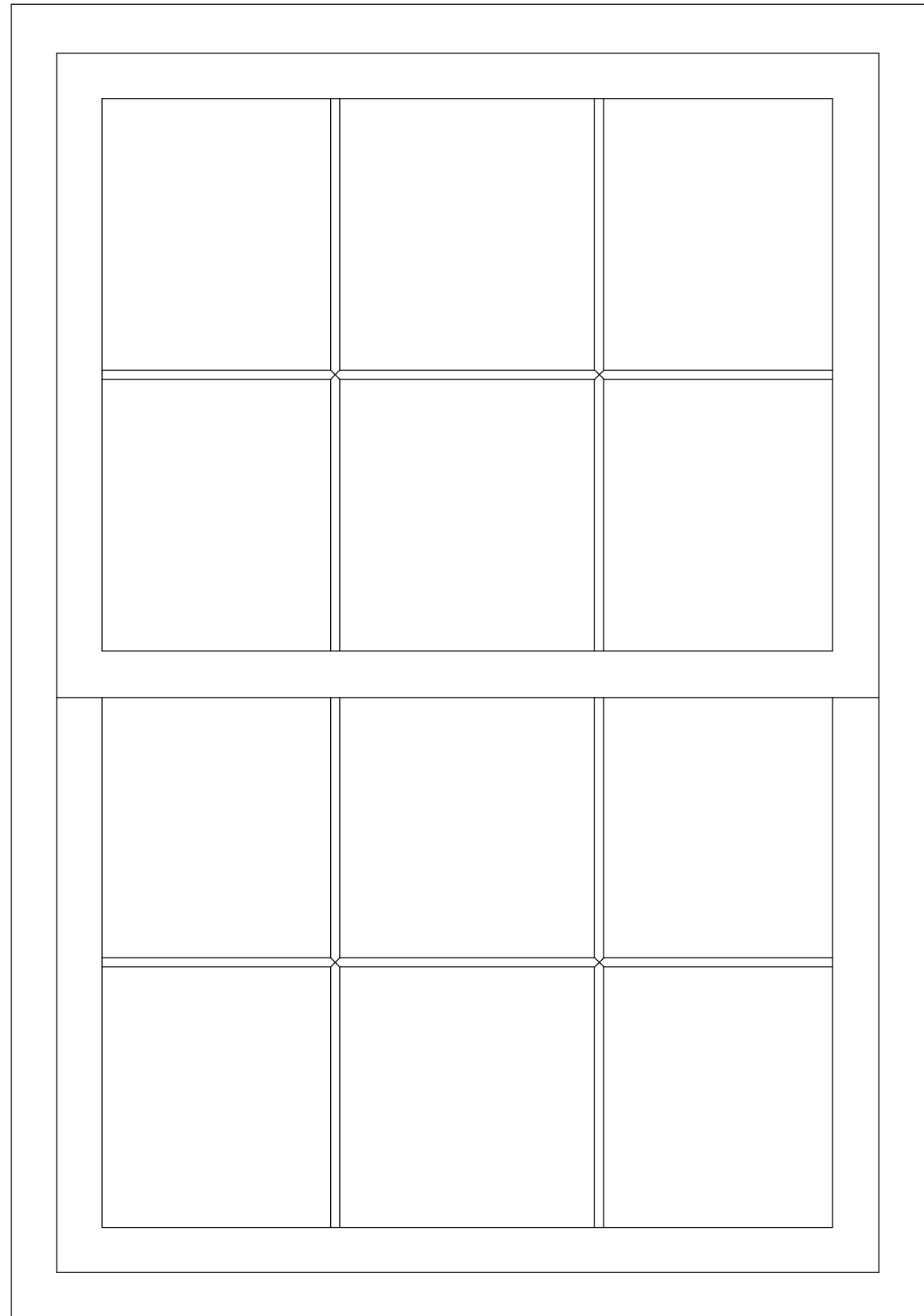
Project No. 1777	Drawing No. P024
Date 16.01.2019	Scale 1:100 @ A3
Stage Stage 3	Revision B
Drawn By CTW	Auth'd By AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk





Typical Sash Window with Parting Bead

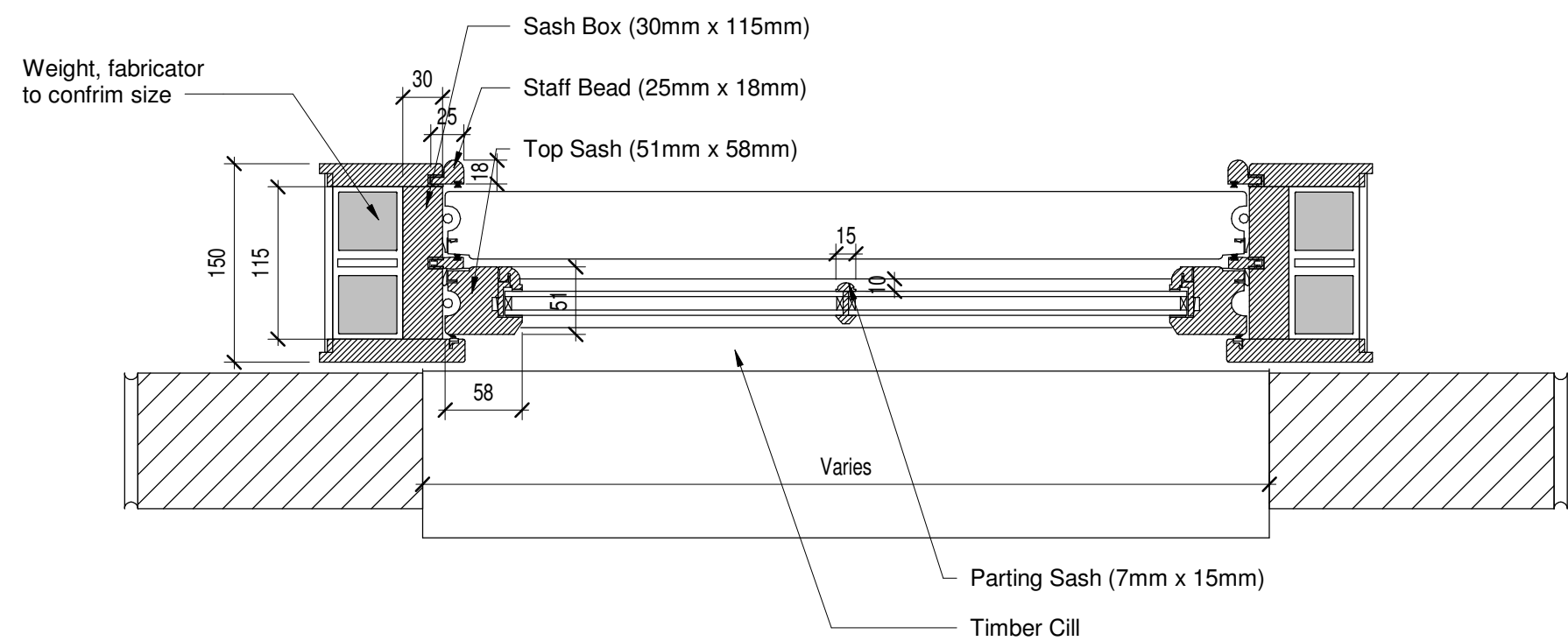


1 Typical Timber Sash Window Section 01

1 : 5

3 Typical Timber Sash Window Elevations

1 : 10



2 Timber Sash Window with Parting Bead Detail Section 02

1 : 5

Rev	Description	Date	Dr by	App by
original by		date created		approved by
RP		10/08/17		MC



2-4 Wigan Road,
Hindley, Wigan,
Greater Manchester,
WN2 3BE,
United Kingdom.

Tel: 01942 251949
Email:
info@heatongroup.co.uk

client name	The Heaton Group		
project	14-16 St Marys Place, Bury BL9 0DZ		
drawing	Material - Timber Sash Windows & Timber Entrance Door		
computer file	D:\Heat\Projects\14-16 St Marys Place\14-16 St Marys Place\14-16 St Marys Place.dwg		plot date
project number	2019		scale
drawing number	AL_21_021	rev	As indicated @A2
issue status	Information		

This drawing is to be read in conjunction with all related drawings. All dimensions must be checked and verified on site before commencing any work or producing shop drawings. The originator should be notified immediately of any discrepancy. This drawing is copyright and remains the property of Heaton Group.



EXISTING



PROPOSED

Note:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

All dimensions and levels to be checked on site.

Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

Drawing Amendment:			
rev	date	drawn	checked
A	05/12/18	CTW	AT
Amendments as per LPA request			
-	07/11/18	CTW	AT
Initial Issue			



Scale 1:200 @ A3

Project Title

Bury

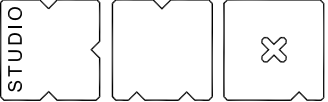
St. Mary's Place

Drawing Title

Streetscene (South)

Project No.	Drawing No.
T777	P025
Date	Scale
05.12.2018	1:200 @ A3
Stage	Revision
Stage 3	A
Drawn By	Auth By
CTW	AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk





EXISTING



PROPOSED

Note:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

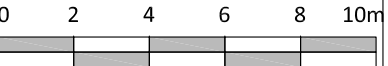
All dimensions and levels to be checked on site.

Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

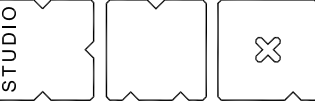
Drawing Amendment:			
rev	date	drawn	checked
B	16/01/19	CTW	AT
Amendments as per LPA request			
A	05/12/18	CTW	AT
Amendments as per LPA request			
-	07/11/18	CTW	AT
Initial Issue			



Scale 1:200 @ A3

Project Title	
Bury	
St. Mary's Place	
Drawing Title	
Streetscene (North)	
Project No.	Drawing No.
T777	P026
Date	Scale
16.01.2019	1:200 @ A3
Stage	Revision
Stage 3	B
Drawn By	Auth By
CTW	AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk



1.2m wide pedestrian route retained

Secure refuse and recycling store

Secure bicycle storage for 6no. bicycles

Existing window to be replaced with new glazed door to provide access/secondary means of escape and natural light ingress

New window to match existing window adjacent within No.14

New brick boundary wall (0.9m high) with high quality black metal decorative railings above (2.1m from ground level) to provide security and visibility for vehicles and pedestrians

Additional build-up to existing external walls to include for new thermal insulation (to improve thermal performance) and services

Original decorative arches to be retained

New thermal lobby to main entrance

Surface level grille to be replaced (in style to match original)

Communal Amenity Space

Private Amenity Space

Living

Sleeping

En-Suite

Living

Sleeping

Sleeping

En-Suite

Living

Entrance door to be replaced (in style to match original) and detailing to be retained/ repaired

Main Entrance

Main Entrance

Entrance door to be replaced (in style to match original) and detailing to be retained/ repaired

Communal Amenity Space

Private Amenity Space

Living

Sleeping

En-Suite

Living

Sleeping

Sleeping

En-Suite

Living

Secure refuse and recycling store

Secure bicycle storage for 6no. bicycles

Existing door to be replaced with new glazed door to provide access/secondary means of escape and natural light ingress

New brick boundary wall (up to 0.9m) with high quality black metal decorative railings above (2.1m from ground level) to provide security and visibility for vehicles and pedestrians

Existing window to be replaced with new door to provide access and secondary means of escape

Existing staircase timber detailing to be replaced with detailing to match original stair (as per No.16 ground floor)

New thermal lobby to main entrance

Surface level grille to be reinstated (as per No.16)

Note:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

All dimensions and levels to be checked on site.

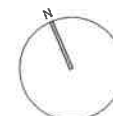
Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

Drawing Amendment:

rev	date	drawn	checked
-	07/11/18	CTW	AT
Initial Issue			



0 1 2 3 4 5m

Scale 1:100 @ A3

Project Title

Bury
St. Mary's Place

Drawing Title

Proposed
Ground Floor Plan

Project No.
T777

Drawing No.
P009

Date
07.11.2018

Scale
1:100 @ A3

Stage
Stage 3

Revision
=

Drawn By
CTW

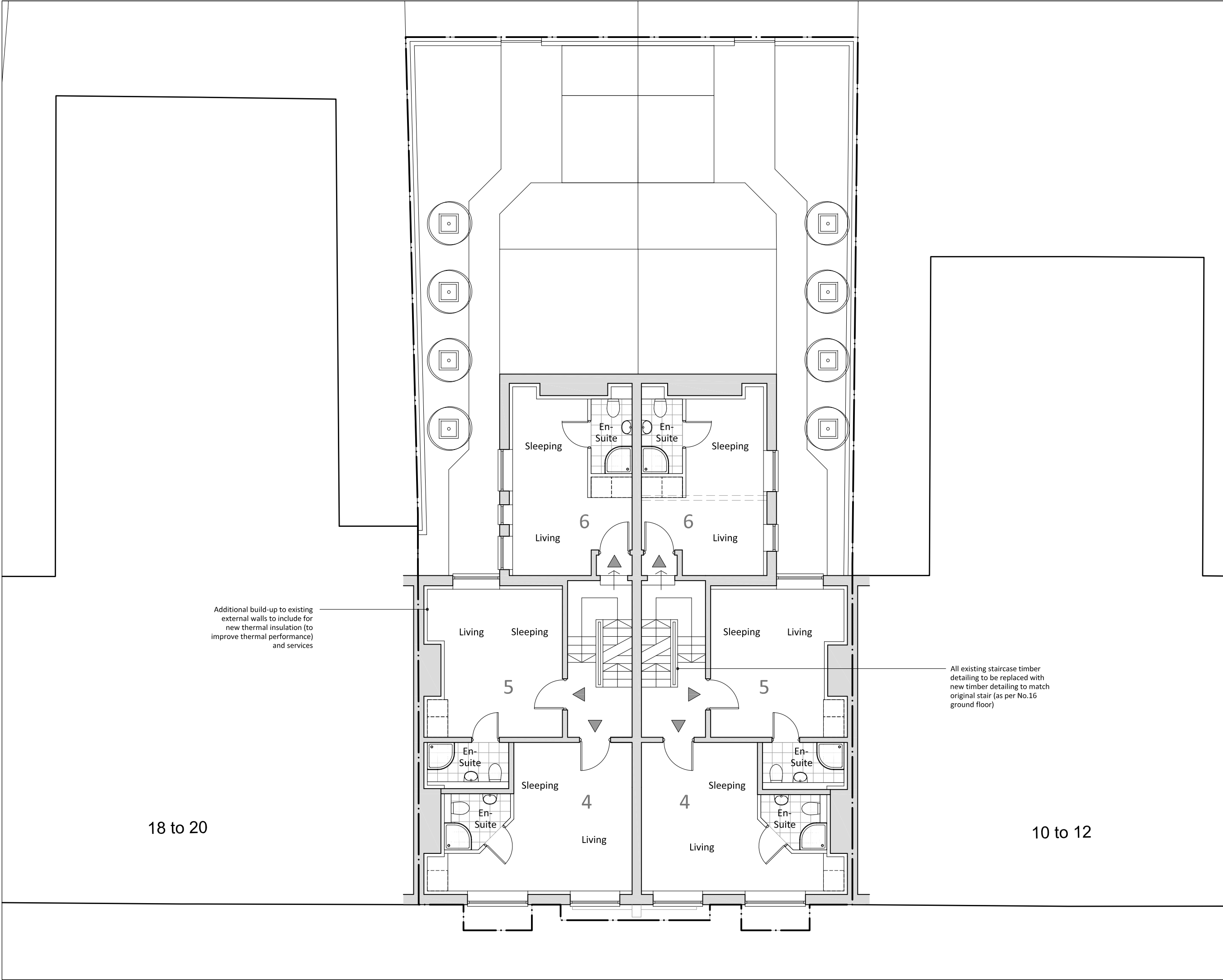
Auth By
AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk



18 to 20

10 to 12



Note:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

All dimensions and levels to be checked on site.

Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

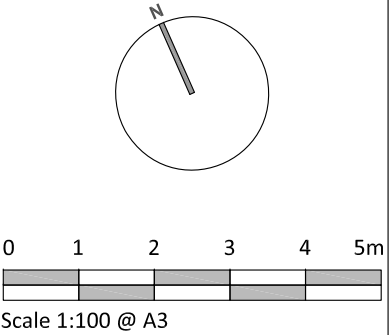
Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

Drawing Amendment:

rev	date	drawn	checked
-	07/11/18	CTW	AT

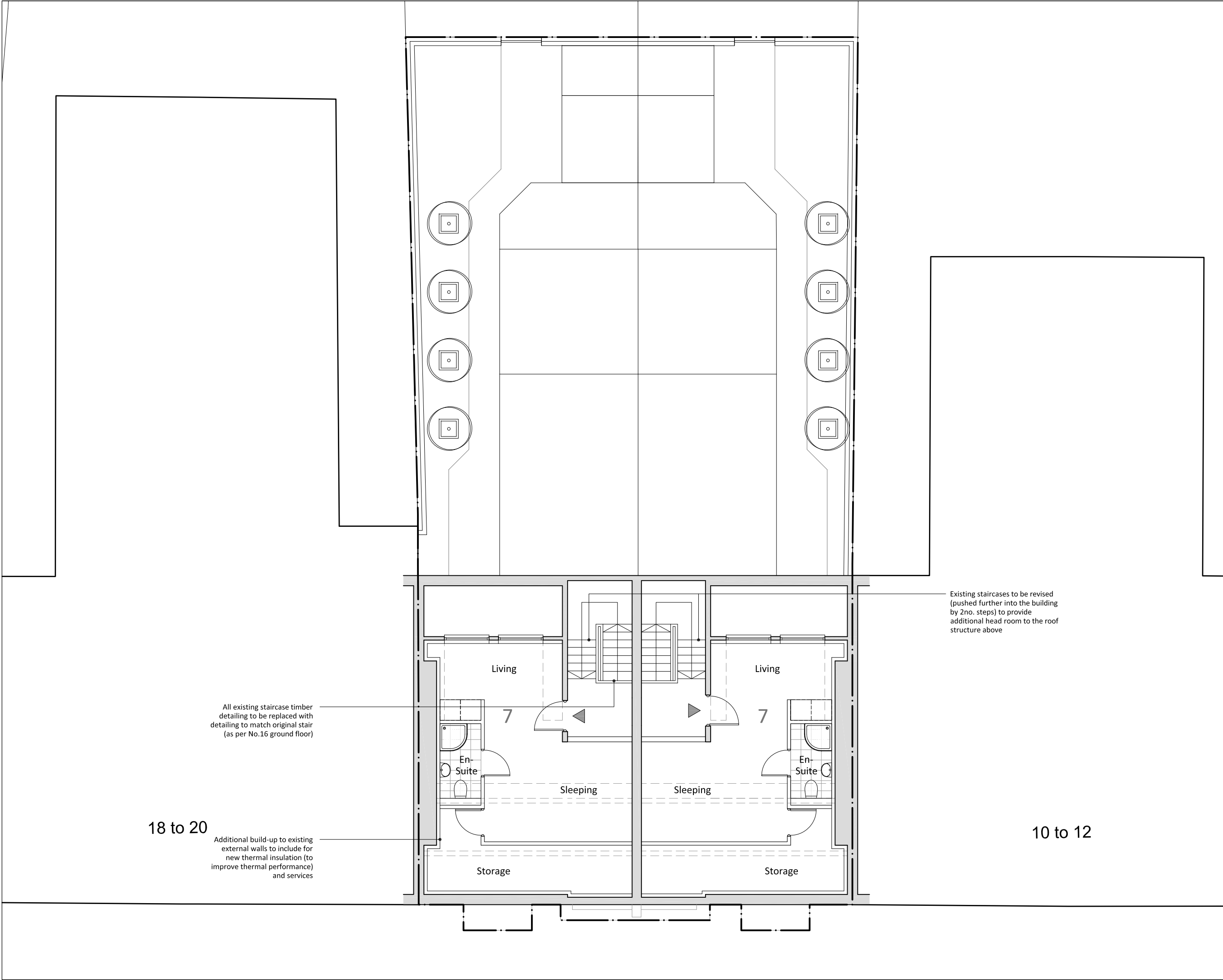
Initial Issue



Project Title	
Bury	
St. Mary's Place	
Drawing Title	
Proposed	
First Floor Plan	
Project No.	Drawing No.
T777	P010
Date	Scale
07.11.2018	1:100 @ A3
Stage	Revision
Stage 3	-
Drawn By	Auth By
CTW	AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk





Note:

This drawing should not be scaled unless for planning application purposes. Work to figured dimensions only.

All dimensions and levels to be checked on site.

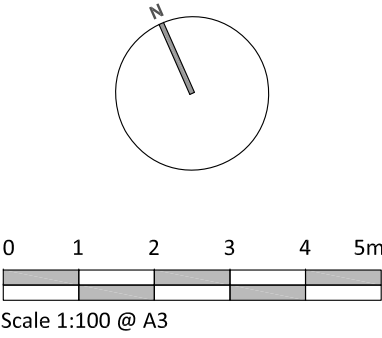
Land registry title and ownership boundaries are produced by Studio KMA using all reasonable endeavours. We cannot be held responsible for scale discrepancy of plans supplied to us.

Any discrepancies should be reported to Studio KMA at the address below.

This drawing should not be reproduced without written permission from Studio KMA.

Drawing Amendment:

rev	date	drawn	checked
-	07/11/18	CTW	AT
Initial Issue			



Project Title

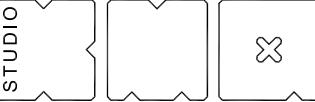
Bury St. Mary's Place

Drawing Title

Proposed Second Floor Plan

Project No. T777	Drawing No. P011
Date 07.11.2018	Scale 1:100 @ A3
Stage Stage 3	Revision -
Drawn By CTW	Auth By AT

Studio KMA Limited
The Design Studio
Valley Mills Millgate
Delph Oldham OL3 5DG
www.studiokma.co.uk



Ward: Bury East

Item 05

Applicant: The Heaton Group

Location: 14-16 St Marys Place, Bury, BL9 0DZ

Proposal: Listed Building Consent for change of use from massage institute (Class D1) to 2 no. 7-bed houses of multiple occupation (HMO) with internal alterations and external alterations to include replacement windows/doors, bicycle/bin storage at rear and boundary wall/gates at rear.

Application Ref: 63521/Listed Building
Consent

Target Date: 30/01/2019

Recommendation: Approve with Conditions

Description

The application relates to two adjoining mid-terraced properties (circa 1845) within the grade II listed row comprising 2-20 St Mary's Place which also lies within Bury Town Centre Conservation Area. St Mary's Place is in within the historic business district and fronts onto an open square now used for parking.

The terrace, built in the late Georgian style, is mainly two-storey but with cellars and a usable roof space. Each property within the terrace is of two bays with three windows and a door in the front elevation and both single and two storey outriggers and a mix of windows at the rear, including some 20th century dormers in the roof. All roofs are pitched and covered in natural blue slate. The properties were built as dwellings in the expanding residential part of the town centre that prospered in the early to middle of the 19th century. The original rear gardens are now completely taken over by private car parking.

The properties subject to the application have been knocked through to form one unit and was last used as offices and training rooms for a massage organisation (The Northern Institute of Massage) which fall into a D1 (Non-Residential Institution) use class.

The red brick property has a slate roof and has had some unfortunate alterations over the years, predominantly at the rear, including a flat roof dormer, brick infill and replacement Upvc windows.

It is proposed to change the use of the property from the current D1 (Non-Residential Institution) use to two separate houses in multiple occupation (HMOs), each with 7 bedrooms. There would be 3 units on each of the ground and first floors within each HMO with a seventh unit within each roof space. Each HMO would also have a communal diner/kitchen area within the basement with natural light coming in from the reinstated original grill openings on the St Marys pavement frontage. Within the rear yard, there would be a small amenity space with an enclosed bin storage area and secure bike store.

The property has been vacant for almost 2 years and has been actively marketed by the current estate agents, Nolan Redshaw since February 2018.

Relevant Planning History

02195/E - Residential development comprising 2 HMO's - Enquiry completed 16/10/2018
63520 - Change of use from massage institute (Class D1) to 2 no. 7-bed houses of multiple occupation (HMO); External alterations to include replacement windows/doors, bicycle/bin storage at rear and boundary wall/gates at rear - undecided.

Publicity

Press notice in Bury Times 13/12/18 and site notice posted 05/12/19. The following neighbours were notified by letter dated 05/12/18. 1-21 St Mary's Place, 1, 5 Bank Street, 2 Manchester Road, Bury Employment Service Silver Street.

Four objections received from the following properties: Nos10-12, 15-17, 18, 21 St Mary's Place. The objections are summarised below:

- The area is characterised by professional and business services and should remain so.
- The area is part of the 'business district' of Bury and introducing residential would lessen its appeal.
- It would have a detrimental impact on the listed building and character of the conservation area.
- Parking, which is already bad, would be made worse as residents would have cars.
- Flats would be more suited to outside of town.
- If the proposal is approved, businesses would move away.
- Issue of noise in this location next to the train station and taxis in St Mary's Place at night.

The objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Conservation - No objection subject to conditions.

Listed buildings (National Amenity Societies) - No objection received.

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions.

Unitary Development Plan and Policies

Area	Manchester Road/Knowsley Street
BY4	
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies - Sections 66 and 72 of the Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 (PLBCAA) requires Local Planning Authorities to consider the desirability for the preservation and enhancement of conservation areas and listed buildings including their setting.

In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Paragraph 189 states that in determining applications, LPA's should require an applicant to describe the significance of any heritage assets affected, including any contribution to their setting. The level of detail should be proportionate to the asset's importance and no more than is sufficient to understand the potential impact of the proposal on their significance.

Paragraph 190 states that Local Planning Authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

Paragraph 191 states that where there is evidence of deliberate neglect of, or damage to, a heritage asset, the deteriorated state of the heritage asset should not be taken into account in any decision.

In paragraph 192, LPA's should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraphs 193 and 194 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Paragraph 195 - Where a proposed development will lead to substantial harm to (or loss or significance of) a designated heritage asset, LPA's should refuse consent unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh the harm or loss, or all of the following apply:

- the nature of the heritage asset prevents all reasonable uses of the site; and
- no viable use of the heritage itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- conservation by grant funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and
- the harm or loss is outweighed by the benefit of bringing the site back into use.

Paragraph 196 states that where a development proposals would lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

UDP Policy EN1/1 Visual Amenity states that development will not be permitted where proposals would have a detrimental effect on:

- a) public views of prominent or important buildings, especially those in areas of architectural or historic interest;
- b) the visual amenity both within, or viewed from, areas of environmental interest such as the Green Belt, Special Landscape Areas or the river valleys.

Policy EN2/1 Character of Conservation Areas

The Council will take action as appropriate to preserve or enhance the character or appearance of the Borough's Conservation Areas.

The Council will be especially concerned with encouraging and, where appropriate, implementing measures to:

- a) retain, replace and restore features of historical and architectural interest;
- b) retain and enhance existing landscape features including trees, parks and gardens;
- c) initiate and promote environmental improvement/enhancement schemes such as landscaping, refurbishment of street furniture, traffic management and pedestrian schemes;
- d) remove dereliction and bring unused land or buildings back into beneficial use;
- e) prepare and promote design guidelines to ensure sympathetic development.

Policy EN2/3 - Listed Buildings aims at safeguarding the character and setting of Listed Buildings by not permitting works, alterations or changes of use which would have a detrimental effect on their historical or architectural character and features.

In considering applications for Listed Building Consent, the Council will have regard to the following criteria:

- a) the impact of the proposal on the historic fabric of the building;
- b) the relationship of any extension to the Listed Building in terms of its height, size, design, and roofscape;
- c) the need to protect the setting of the Listed Building;
- d) the impact of associated ancillary facilities and infrastructure works.

In assessing these proposals in terms of the grade II listed building, there are three main elements to consider -

- the alterations to the building,
- impact of the access road and parking on the trees and the impact of the scheme on the setting of the listed buildings.

Principle - Proposed Change of Use - At the heart of the NPPF is the drive to promote sustainable development. Within the context of a heritage setting, policy seeks to establish a balance between securing optimum and viable development and consideration of any likely impact the use and any associated works would have on the character of the building and its setting.

Over recent years, the building has suffered decline and deterioration from lack of investment and this is apparent from the internal state of the building and the works identified in the heritage statement that investment is required to bring the building back into a usable state. Unless a certain amount of restoration/repair were to happen, the building would become in danger of deteriorating to such an extent, that the financial burden to restore the building could be too onerous for anybody willing to take on. Deliberate neglect is not material, but whether the proposals preserve is.

This application presents an opportunity to secure the future of the building with proposals to restore and repair the important and original fabric of the building within its historic context, whilst at the same time bringing it out of a dereliction to one which would make a positive and sustainable contribution to promote local economic vitality. The development would secure a viable and optimum future use of the building for the Conservation Area which would be of the wider and greater benefit to the community and public and as such in compliance with the principles of paras 192 and 196 of the NPPF.

National conservation policies recognises that there is a judgement to be made between the benefit of bringing back into use or introducing new uses into a building whose future depends on it, balanced against any potential harm which may be caused to the building as a result. The proposed use for residential is an acceptable use in land use terms in a town centre. In conservation terms, conservation is not just about visual aesthetics and physical changes, it is about the history, feelings and atmosphere such places create and it is what makes these areas so special in character. The history and historic relevance of the building would remain and will always be part of its story. The balance of this and consideration of its future as a new use, does add to the building's story and indeed returns it back to its original use. The proposed use would bring vitality, vibrancy, occupancy and activity, all contributing positively to keeping alive and preserving and enhancing the character of this important part of the conservation area.

It is therefore considered that the proposed use and the appropriateness of the works which would be carried out to enable the restoration of this building would both preserve and enhance the character of this heritage asset within this important part of the Conservation Area, and would be in accordance with the principles of the NPPF and UDP Policies.

A Heritage Statement (14/11/18, Mountaineer Ltd) was submitted with the application and sets out the impact the proposal would have on the significance of the buildings. The impact of the works is discussed in detail below.

Alterations to the Building

The original terraced row was constructed with clear emphasis on the front elevation. This has a finely coursed brick elevation in largely Flemish bond with stone banding, stone heads and sills to openings and a hidden stone gutter with cornice, and a stone plinth. Window frames were originally 8 over 8 and 6 over 6 timber sliding sashes with glazing bars. Doorways had ornate fanlights, dentilled lintels, rubbed brick arched heads, and ionic pilasters within the reveal with ornate capitals and bases. Stone steps were set forward of each doorway. Some brick chimney stacks remain. Many original elements remain though most window frames have been altered to have top opening lights, though still with the original glazing bar pattern. Two windows in the terrace have been enlarged. The setting at the front is formed by 1 to 21 St Mary's Place which is a pastiche Georgian/Victorian 1970s/80s group in brick and slate forming a square on the site of the former swimming baths. It is also partly formed by the side and rear of the Georgian terrace fronting Manchester Road.

External - In terms of the external alterations to the building, the proposed programme of renovation works, externally, is not extensive. The most significant external changes relate to replacement windows and doors as they have degraded over time and have been inappropriately replaced in some cases. The timber sash and casement replacements and using slimline glazing units (similar to numbers 18 and 20) are proposed and will result in the replacement of poor replacements being removed and new ones inserted where degradation has taken place. Their appearance and framing dimensions are considered appropriate in terms of design and historical accuracy. Those windows not replaced would be refurbished to historical accuracy.

The non-original front doors are to be replaced with panelled composite doors to a design consistent with the building's original patterns, which would improve the outward face of the building within this row.

The existing Upvc rainwater goods on the main building, would be removed and replaced with traditional style cast aluminium and colour coded. On the St Mary's frontage the original 'infilled' lightwell on the right hand side would be reinstated and covered with a metal grill in similar style to the existing historical lightwell on the left hand side of the property.

There has been significant change at the rear with a mix of rebuilt walling, rendered and painted walls, altered and blocked off windows and doors and the introduction of private car parking. The setting at the rear is formed by the late 20th century employment exchange and the rear of the Unitarian Church, The Exchange office, highway and parking. The rear of all these buildings does not provide a high quality setting within the conservation area nor to the listed building.

At the rear, the yard would be enclosed with a brick boundary wall 0.9m high with metal railings above 600mm high and would include a small amenity space, a cycle store and a bin store. The delineation of the plot at the rear would contrast with the rest of the row as boundary walls at the rear areas have been removed over time but this was historically accurate and the proposals would reinstate this. The external fabric of the building would not be affected by this proposal. In elevational terms, the Conservation Area would be enhanced by the proposals as they would bring a historic sense of order to this area and thus enhance the area.

Summary to External works - It is therefore considered that the proposed restoration works to the external fabric of the building would, overall, have a positive impact and would both preserve and enhance the character of the Conservation Area and would enable the building to be brought back into use which would be of considerable benefit to the character and preservation of this part of the Conservation Area.

It is therefore considered that the proposed works would be carried out in accordance with the principles of the NPPF and would be in compliance with UDP Policies EN2/1 - Character of Conservation Areas and EN2/2 - Conservation Area Control.

Internal Works - The application properties, 14 and 16, have been previously altered internally by the removal and adding of walls and the formation of the loft space, all of which has led to loss of fabric and heritage significance as confirmed within the statement of heritage significance. The important features that remain are the lower staircases, some window and door architraves, fireplaces, and cornices and corbel ornamentation.

Creating two separate HMO units within the premises would facilitate the re-establishment of the central party wall so reforming two separate units as was originally intended. The original doorway to No.14 would be reformed internally and other welcome internal changes involve removing many of the later additional stud walls and reverting to many elements of the original layout, opening up the spindles on the staircase, reopening a previously infilled window and these alterations would be a positive intervention.

Other internal changes involve covering (but not removing) some original but plain fireplaces and encasing them. This would at least allow them to be opening up and possibly reused in the future. New stud walling that would in some cases cover original features, and would involve the re-ordering of the stairway between the first and second floors. The latter involves both restoration and loss of the Georgian details.

The Balance - The proposals represent both removal of some features and the reinstatement of others. The historical external face of the building would be brought back into a good state of repair and appearance and would permit the building to be occupied following investment.

The proposals involve both loss of heritage fabric and its restoration. The internal layout will be partly restored, but some elements such as fireplaces, some cornicing and architraves, and parts of the Georgian stair, will be temporarily hidden or lost. The degree of loss is not significant nor are so extraordinary to require the proposals to be revised or refused. The re-occupation of the building would be welcomed and would breathe life into the building and permit it to go forward with investment and occupation. The restoration of detailing would be in the most prominent and public areas of the building whilst the covering up of features, not loss of and removal of some of the cornices and architraves would be in the private areas. There are not many features to lose internally and there is a clear effort made to retain and keep those that are there. The degree of loss is as such the proposals bring multiple benefits and are considered to outweigh their preservation.

Objections - The concerns of the objectors with regard to specific heritage issues have been addressed in this and the associated application 63520, being considered at this Planning Control Committee meeting

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.
Reason - Required to be imposed pursuant to Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
2. This decision relates to drawings numbered S18-1040 (Topo), P001 - P19, P020/A, P021/A, P022/A, P023/A, P024/B, P025/A, P026B, AL_21_021(window detail) and the following documents:
Supporting Statement, Design and Access Statement, Heritage Statement/Photographs and Crime Impact Statement.
The development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of materials to be used in the external elevations, sliding sash and case windows including glazing details, rainwater goods, doors and associated fittings/doorbells/letterboxes, boundary wall/railings and areas of hardstanding, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. Development shall not commence until a detailed schedule of proposed internal works, including restoration and replacement of specified original architectural features, is submitted to the Local Planning Authority for written approval. The approved schedule of works shall be carried out in complete accordance with those details.
Reason. In order to preserve features of special architectural or historical interest and as provided for under Section 17(1) (a) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Ward: Prestwich - St Mary's

Item 06

Applicant: Irwell Valley Homes

Location: Site of former Park Hotel, Lowther Road, Prestwich, Manchester, M25 9GP

Proposal: Residential development comprising of 7 no. 2 storey houses, 12 no. apartments, 21 parking spaces and associated amenity spaces

Application Ref: 63534/Full

Target Date: 27/02/2019

Recommendation: Mind to Approve

It is recommended that this application is Mind to Approve subject to the signing and completion of a s106 Agreement for Affordable Housing in accordance with UDP Policy H4/1 and a commuted sum of £9,000 for off-site Recreation Provision in accordance with UDP Policy RT2/2. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the development Manager.

Description

The application relates the cleared L-shaped site (0.3ha) of the former public house, the Park Hotel, situated at the junction of Lowther Road and Gale Road. The surrounding area is residential in character, comprising a mix of 1930's semi-detached and detached 2 storey houses. there is some flatted development along Lowther Road, to the east.

The site has a large area of hardstanding and is overgrown in parts with a number of mature trees on the site, seven of which are subject to a Tree Preservation Order. The site is fenced off and is relatively flat with levels dropping down from the rear boundary with the gardens of properties fronting Carr Avenue. There is an electricity sub-station in the south west corner.

Planning permission was granted in July 2008 for the erection of a 3 storey block of 30 apartments set in an L shaped configuration and set back from the highways frontages with a parking forecourt on the east side. In 2011, an extension of the planning permission was granted for a further 3 years.

The current application proposes:

- Seven two storey houses (6 x 3-bed and 1 x 4-bed) fronting Lowther Road. Six would be semi-detached with one detached. The design and layout would be conventional with red brick facades and hipped grey tiled roofs, reflect the existing properties along Lowther Road.
- A four storey block of twelve 2-bed apartments would be situated on the south side of the site, with main frontages facing Gale Road and the forecourt at the rear. The building would have a rectangular footprint with a flat roof. The red brick elevations would reference the proposed houses and surrounding streetscape with recessed areas and two types of brick finish allowing articulation and interest.

The main vehicular access into the main parking area with 15 spaces would be centrally located on the Lowther Road frontage. In addition, two houses would have individual driveways and there would be a three parking spaces formed in a small courtyard accessed from Lowther Road. This would give a total of 21 parking spaces. Pedestrian access to both the houses and the apartments would be from Lowther Road. Each of the houses would

have bin storage within their rear gardens and the apartment block be served from a bin store in the parking forecourt.

A full Arboricultural Impact Assessment was submitted with the application and identifies 30 or so individual trees, seven of which are under a Tree Preservation Order and a small number of groups of small, low quality species around the site. Five of the TPO trees form a central spine cutting through the site north to south with other two in the north east corner and the south west corner, near the sub-station. Although several minor unprotected trees would be removed all the TPO trees would be retained and it is proposed to plant new trees in lieu of those lost.

The applicant is a housing association, offering 100% affordable housing and a Section 106 legal agreement would secure this. Recreation provision would normally be required for this number of units. However, the applicant has submitted a viability appraisal where a case has been presented that the full commuted sum would render the scheme unviable. In the light of the viability assessment, the applicant has agreed with the Local Planning Authority to contribute a reduced sum of £9,000 for off-site recreation provision.

Relevant Planning History

02158/E - Development of 20 no. affordable houses and an apartment block - Enquiry completed 29/08/2018

49718 - Three storey block of thirty apartments with car parking and associated works - Approved 29/07/2008

53800 - Extend the time limit for implementation for planning application 49718 for three years for the erection of three storey block of 30 apartments with car parking and associated works - Approved 04/08/2011

Publicity

Press notice in Bury Times 06/12/18. Site notice posted 03/12/18 and the following 46 neighbouring properties were notified by letter dated 30/11/18.

63, 65, 67, 85 and 87, 94-124 Lowther Road, 2-12(even) Gale Road, 14-30 Carr Avenue, 2-14(even) Carlford Grove, 46, 48 and 50 Scott Road.

Seven objections have been received from the occupiers of 20, 22 and 24 Carr Avenue and 6-12(even) Gale Road. Objections are summarised below:

- The number of parking spaces which have been proposed is far below the logical number which will be required for the number of occupants and visitors per dwelling. This will mean more cars on surrounding streets which is already slowly becoming an issue.
- The proposal doesn't clarify how extensive the pruning of the trees on the site will be. The pruning would need to be minimal in both the density and height as this is the only thing which will hide the building and lower the impact of overshadowing on the properties on Gale Road.
- Several of the trees currently on the site will be lost, some of which had TPO's on them.
- The 3 storey block of apartments would result in the overshadowing and loss of light for properties on Gale Rd.
- The block of apartments would result in the loss of privacy for properties on Gale Rd due to being overlooked from the apartments.
- The design of the proposed 3 storey block of apartments is not in keeping with the surrounding and adjacent 2 storey dwellings.
- Nature Conservation, the site is inhabited by roosting bats and many species of birds including owls.

The objectors have been notified of the Planning Control Committee.

Statutory/Non-Statutory Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No objection subject to condition.

Environmental Health - No objection.

Greater Manchester Police - No objection.

United Utilities - No objection.

Greater Manchester Ecology Unit - No objection.

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN5/1	New Development and Flood Risk
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT6/1	Pedestrian and Cyclist Movement
HT6/2	Pedestrian/Vehicular Conflict
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
SPD16	Design and Layout of New Development in Bury

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up with sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring indicates that the Council is unable to demonstrate a five year supply of deliverable housing land and this needs to be treated as a material factor when determining applications for residential developments

UDP Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

The development proposes to provide 100% Affordable Housing by a Registered Social Provider, which would contribute to the shortfall of housing in the Borough and in particular, delivering Affordable Housing.

The development would be located on a piece of brownfield land which is bound by two highways and surrounded by established residential development. The development would not conflict with the local environment in terms of character and surrounding uses.

As such, the principle of the proposed development is considered to be acceptable and would be in compliance with the NPPF and UDP Policies H1/2, H2/1, H2/2 and H4/1.

Layout - The layout of the houses with the front gardens fronting Lowther Road, would reflect the predominant street pattern along the road. The three storey block of apartments towards the rear of the site would be accessed from the internal courtyard and allow a higher density (63 per ha) development than purely houses would offer and introduce a suitable mix of properties to reflect demand. This mix of styles is considered to be a significant improvement on the previously approved scheme for a single apartment block of 30 apartments.

The existing TPO trees on the site, forming a central spine, help soften the development and give a degree of maturity within the streetscape. The access, running adjacent to these trees, would further help protect them and improve their setting.

The development has sought to maximise the area of land available without compromise to the amenity of future occupiers or those living nearby and it is considered the proposed layout would successfully achieve this. The layout of the dwellings would also provide natural surveillance of the development and a safe community environment.

As such, it is considered that the proposed layout would deliver a high quality and acceptable development which would comply with UDP policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development and EN1/5 - Crime Prevention.

Scale, Design and Appearance - The proposed houses would be 2 storey in height, with mostly hipped roofs to reflect the scale of the streetscape along Lowther Road. The design of the houses, whilst being more contemporary, would reflect the style of existing 1930's houses along Lowther Road. The elevations of the houses would be finished primarily in a red brick to match the existing houses with secondary, darker tone brick panels, which, along with recessed windows and doors, give appropriate contrast and interest. The roofs would be grey tile to match the surrounding properties.

The apartment block is different in design and scale to the two storey houses in the immediate vicinity. However the three storey block would reflect the surrounding finishing materials with similar brick panelling as the houses. The contrasting panelling and recessed areas would help break up the perceived mass of the building and the flat roof would reduce its overall height. As such the apartment block would not appear so incongruous on the streetscape. The existing and proposed planting scheme around the site would also help soften and break up the building.

In terms of the communal areas and boundary treatment, a landscape strategy and plan has been submitted with the application and outlines the general approach taken. The plan proposes a mix of native and ornamental species to provide both ecological and aesthetic benefits. The Lowther Road boundary to the front of the houses would comprise a mix of low brick wall and railings with hedge planting behind. Along Gale Road, the existing brick retaining wall would be retained with shrub planting behind. Along the rear boundary, shared with properties on Carr Avenue, the existing boundary wall would be retained with planting behind. Within the site there would be a mix of walls and fencing separating the units.

It is considered that, with a quality landscape plan including the management of protected mature trees, the scheme would allow the redevelopment of the long time derelict site and integrate positively within the area. It would comply with the NPPF and UDP Policies and supporting guidance in relation to visual amenity.

Impact on residential amenity - SPD6 contains supplementary guidance on separation distances between new and existing buildings and is used to assess new development. A separation distance of 20m between habitable room windows and a separation of 13m between a ground floor habitable room window and 2 storey blank wall is generally an acceptable minimum distance, with an increase of 2.5m for every additional storey.

At the front, given the distances across Lowther Road, the houses satisfy aspect standards and would not present any issues with regard to residential amenity. With regard to the rear of the houses, there is a separation distance of 13m between the rear elevation of house plots 3 and 4 units. Whilst there is no overlooking as side windows in the apartment block are obscure glazed/non-opening, one would expect to see a separation distance of around 16m between the block and the ground floor habitable room windows. However given the relationship is between new build properties within the site and the height of the three storey building is mitigated by the flat roof, this distance is considered to be acceptable.

On the eastern side of the site, the houses satisfy distances to the rear boundary and in relation to No.18 Carr Avenue and planting along this boundary would further mitigate overlooking.

With regard to the block of apartments, the separation distances with regard to privacy and outlook in relation to houses on Gale Road are around 28m and this is considered to be acceptable and compliant with standards set out in SPD6.

With regard to the impact on 22 and 24 Carr Avenue, directly to the south of the apartment block, there is no direct overlooking as the first and second floor windows in the side elevation are obscured and non-opening. The ground floor windows would not cause any privacy issues as there is a 2m boundary fence, augmented by hedge planting along the adjacent boundary. Distances from the side of the apartment block and the rear elevations of the houses are between 24.6m and 26.5m and are considered satisfactory. Further, a revised planting plan has been submitted which proposes hedge planting along this part of the rear boundary. This would replace the existing planting lost on this boundary and help screen the lower part of the apartment block from these properties.

Given the separation distances between the proposed development and surrounding properties and the requirement for obscure glazing, it is considered there would not be an impact on the amenity of occupiers adjacent to or near the site and the proposals would comply with UDP Policy H2/1 and SPD6.

Permitted Development - It is considered reasonable and necessary, given the nature of the site, that permitted development rights are withdrawn by a condition attached to any approval. This would allow the Local Planning Authority to control any future alterations and extensions to the dwellings on the site.

Vehicular Access and Parking - The primary vehicular access is centrally positioned on the Lowther Road frontage and leads to the main parking court providing 15 spaces for both the residents of the houses or the flats. Where possible driveways have been provided to the front of the houses. Plots 4 and 5 have dedicated frontage parking and there is a small 3 space car park in front of plot 6 that would be shared with plot 7 due to the bus stop in front of plot 7 remaining in place. There are a total of 21 parking spaces, which for 19 units equates to 110%. The applicant argues that, based on all the units being affordable, and the lower than average car ownership figures that this entails, this is an appropriate level of parking in this location. It is also noted that there is a bus stop situated directly outside the site, on Lowther Road, providing links to Manchester, Bolton and Salford and in terms of local accessibility, there is a local shopping centre on the corner of Sandy Lane and Butterstile Lane, about 270m away.

Pedestrian access - All the proposed houses and the ground floor of the apartment block would have effective level access from Lowther Road and would therefore comply with UDP Policy HT5/1.

Servicing - The 7 houses would have their waste bins within their own curtilage. A communal bin store would be provided for the apartment block within the parking courtyard. Bins for all the units would be collected from Lowther Road. The location, size and design of the bin store and arrangements for collection are considered acceptable to the waste management team.

Ecology - Apart from existing trees, the site does not have particularly high ecological value. A bat assessment was submitted with the application and concludes that the majority of the trees on site have negligible suitability for roosting bats. Notwithstanding this any tree felling should use 'reasonable avoidance measures' prescribed by an ecologist and a suitable condition would ensure this is carried out. The proposal is acceptable in terms of ecology and complies with the NPPF and UDP Policy EN6/3 Features of Ecological Value.

Planning Obligations

Affordable housing - The development would be for 100% Affordable Housing would be managed by a registered social landlord. The applicant would be required to enter into a legal agreement to secure the scheme's provisions would deliver 100% affordable accommodation.

Recreation provision - The scheme as proposed would normally include a commuted sum contribution of £38,595.30 for recreation as required by SPD1. However, the applicant has submitted a viability appraisal where a case has been presented that payment of the full commuted sum would render the scheme unviable. The viability appraisal has been assessed and it is recommended that the commuted sum be reduced on this occasion to £9,000, which has been demonstrated to be the maximum recreation contribution that the development could viably support whilst still delivering 100% much needed affordable housing which is a clear benefit of the proposal. It should be noted that this does not set a precedent as all applications are assessed on their own merits. The project that this recreation contribution will be used for will be confirmed and identified in the supplementary report.

Objections - The planning issues with regard to visual and residential amenity, parking and ecology raised by the objectors have been addressed in the above report.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act

1990.

2. This decision relates to drawings numbered L0001, L0002, L0100, L0200, L0201, L0202, L0203, L0205, L1001, L1006, L1100, L1101, L1102, L1104, L1502, L1503, L1600, L1601, 1401-SK016,
Revised drawings UG_11882_LAN_DRW_FF_L03/2, GA_L01/3, SL_L04/2, HL_L02/3
Supporting documents:
Viability Statement (Dec 2018)
Design and Access Statement (Nov 2018)
Planning Statement (Dec 2018)
Transport Statement (Nov 2018)
Arboricultural Impact Statement (Nov 2018)
Bat Risk Assessment (June 2018)
Landscape Strategy (Jan 2019)
Crime Impact Statement (No 2018)
Flood Risk and Drainage Report (Nov 2018)
Desktop Contaminated Land Report (May 2018)
and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Following the provisions of Condition 3 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. A landscaping scheme shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. The scheme should include a replacement planting for the loss of the tree identified in the Arboricultural Implications Assessment dated 19 July 2017 Ref; TRE/TEAR. and planting along the eastern boundary of the site. It shall be implemented not later than 12 months from the date of first occupation of the development hereby approved; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

7. The development hereby approved shall be carried out in accordance with the recommendation in Chapter 5 of the Ecological Appraisal Report version 1 dated 17th July 2017 for Habitat Enhancement in the form of bat access panels/boxes and bird boxes.

Reason. To enhance and conserve the natural environment pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. Details/Samples of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design and H2/1 - The Form of New Residential Development.

9. The drainage for the development hereby approved, shall be carried out in accordance with principles set out in the submitted Flood Risk Assessment and surface water drainage strategy (Project Ref No. 6962, Revision S3). Surface water must drain to the combined public sewer at a maximum pass forward flow rate of 5 l/s. Any variation to the discharge of foul shall be agreed in writing by the Local Planning Authority prior to the commencement of the development. The development shall be completed in accordance with the approved details.

Reason: To ensure a satisfactory form of development and to prevent an undue increase in surface water run-off and to reduce the risk of flooding pursuant to the NPPF and UDP Policies EN5/1 New Development and Flood Risk and EN7/5 Waste Water Management.

10. Before the first occupation of the apartments hereby approved, all the windows on the north elevation of the apartment block shall be fitted with obscured and non-opening windows (min obscurity level 3). The windows on the first and second floors of the south elevation of the apartment block shall be fitted with obscured and non-opening windows (min obscurity level 3). All of the above windows shall be permanently retained in that condition thereafter.

Reason. To protect the privacy of adjoining occupiers and to accord with Policy H2/1 The Form of New Residential development.

11. No trees subject to a Tree Preservation Order shall be felled, lopped or topped before, during or after the construction period without the previous written consent of the Local Planning Authority.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 Townscape and Built Design and EN8/2 Woodland and Tree Planting of the Bury Unitary Development Plan.
12. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and agreed in writing with the Local Planning Authority and shall confirm/provide the following:
- Hours of operation and number of vehicle movements;
 - Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site;
 - Parking on site of operatives' and demolition/construction vehicles together with storage on site of demolition/construction materials.
 - Measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations.
- The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of demolition/construction materials.
Reason. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT4 - New Development.
13. The private access road and turning facilities indicated on the approved plans shall be provided before the dwellings are first occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Access.
14. The communal and in-curtilage car parking indicated on the approved plans shall be surfaced, demarcated and made available for use to the written satisfaction of the Local Planning Authority prior to the development hereby approved being occupied and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policies H2/2 - The Layout of New Residential Development and HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
15. Notwithstanding the details indicated on the approved plans, no development shall commence unless and until full details of the following have been submitted on a topographical survey of the site and adjacent adopted highways to the Local Planning Authority:
- An Approval In Principle for the proposed abandonment of the existing retaining structure abutting the Lowther Road site boundary and replacement wall with foundations that do not encroach under the adopted highway, incorporating the reconstruction of the affected footways, measures to ensure vehicle containment as part of the wall design, full structural, construction and

drainage details, calculations and a detailed construction method statement, including details of pedestrian protection measures, site hoardings located clear of the sightlines from the adjacent junction and traffic management proposals on Lowther Road and Gale Road;

- In connection with the above works, alteration of the junction of Gale Road with Lowther Road to a scope to be agreed incorporating the provision of dropped crossing facilities for pedestrians and appropriate tactile paving, extension of the limits of the adopted highway, formation of the proposed site access onto Lowther Road incorporating the provision of adequate arrangements at the interface with the adopted highway to form a 5.0m minimum level plateau measured from the back of the footway and formation of the proposed footway crossings onto Lowther Road, all to an agreed specification and incorporating all necessary modifications to, and improvement of, any affected street lighting, road markings and highway drainage;
- Provision of a street lighting assessment of the intensified junction of the proposed private access road with Lowther Road and, if required, subsequent scheme of improvements to existing street lighting on the adopted highway. The details subsequently approved shall be implemented to an agreed programme and to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of highway safety, ensure good highway design and maintain the integrity of the adopted highway pursuant to the NPPF and UDP H2/2 and HT4 New Development.

16. The visibility splays indicated on approved plan reference 2346-03 shall be implemented to the written satisfaction of the Local Planning Authority before the new site access is brought into use and subsequently maintained free of obstruction above the height of 0.6m.

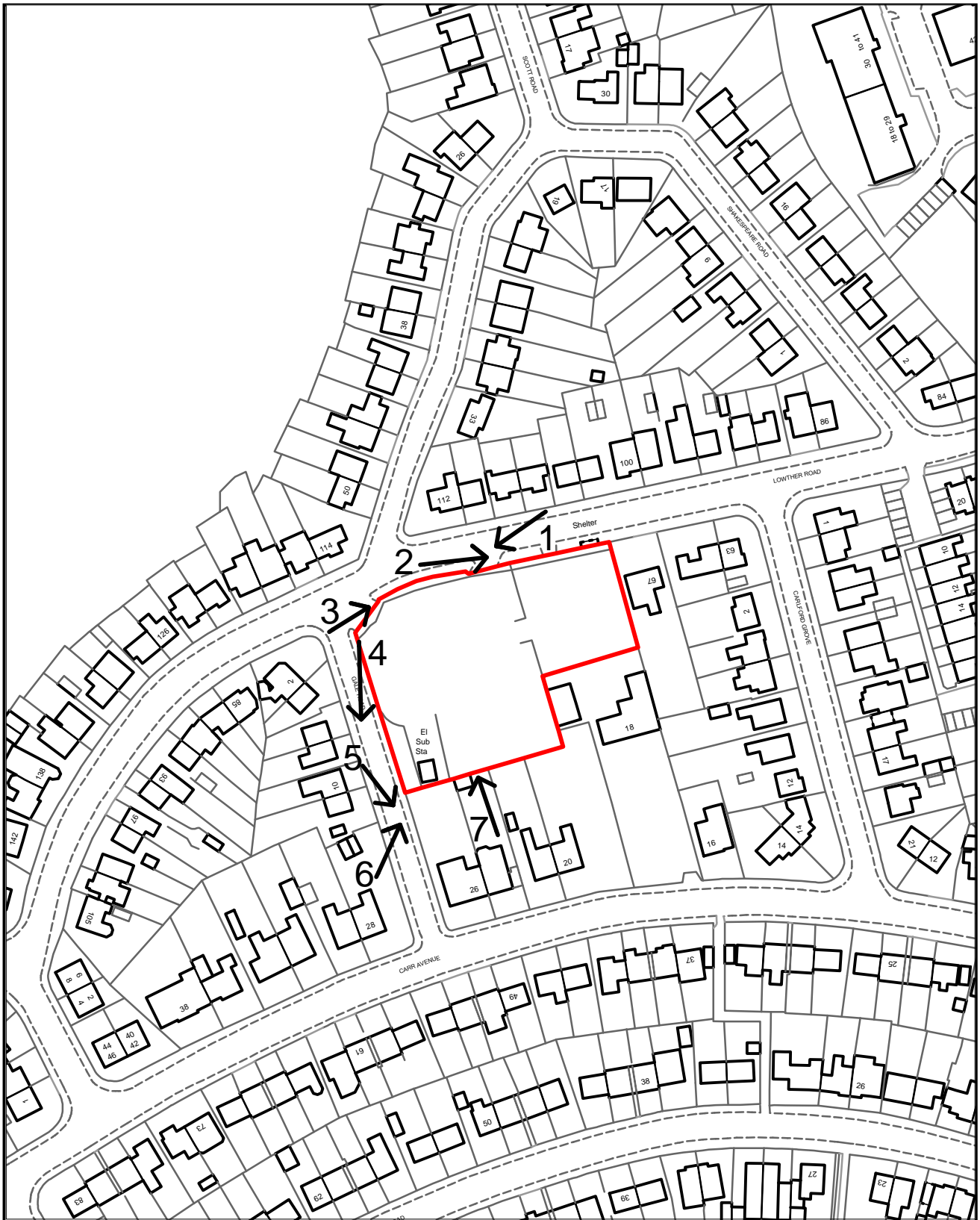
Reason. In the interests of highway safety pursuant to the NPPF and UDP Policies H2/2 and HT4.

17. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.

Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63534

**ADDRESS: Site of former Park Hotel
Lowther Road**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

63534

Photo 1



Photo 2



63534

Photo 3



Photo 4



63534

Photo 5



Photo 6

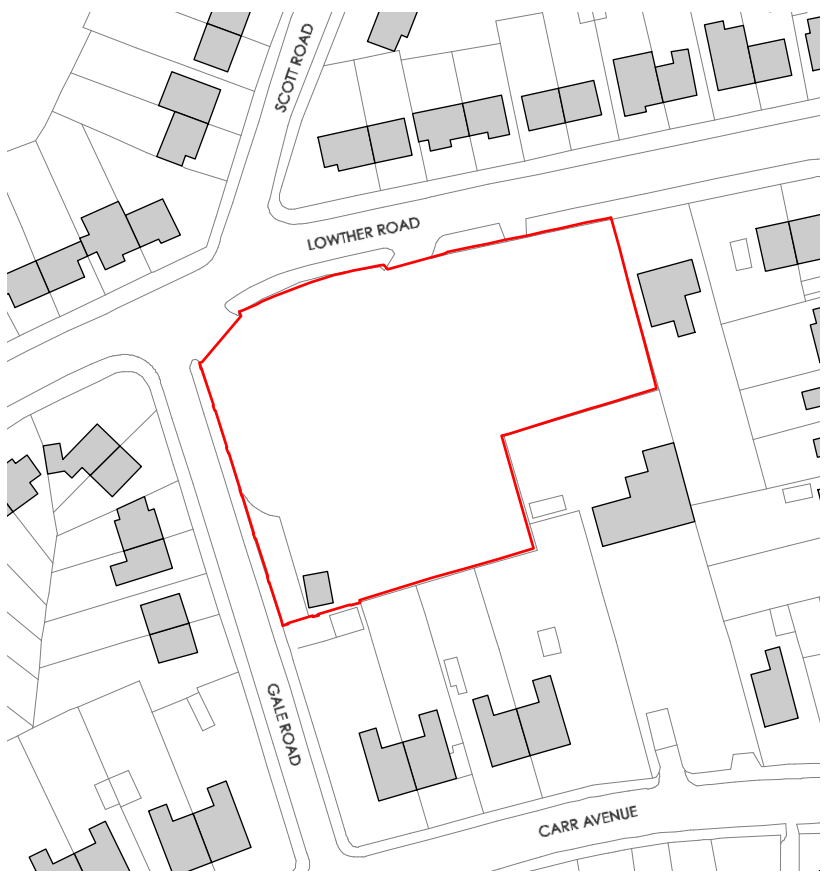


63534

Photo 7



REVISION	DATE	DESCRIPTION
01	10.05.18	Initial Issue
02	16.11.18	Planning



KEY PLAN

— SITE OWNERSHIP BOUNDARY
(EXTENT OF PROPOSED DEVELOPMENT)

FOR FURTHER INFO ON EXISTING TREES REFER TO URBAN GREEN SUPPORTING INFORMATION.

EXISTING SITE PLAN

OMI ARCHITECTS

31, Blackfars Road, Salford, Manchester M3 7AG
t 44(0)161 832 3242
f 44(0)161 832 3623
e info@omiaarchitects.com
w www.omiaarchitects.com

PROJECT	LOWTHER ROAD, PRESTWICH			
DRAWING	EXISTING SITE PLAN			
DATE	21.02.18	DRAWN BY	SJC	SCALE 1:250 @A1
JOB NO.	1401	DWG.NO.	L 0100	





DEVIATION KEY

- 1 BUS STOP - REMAINED IN EXISTING LOCATION
- 2 EXISTING BRICK WALL RETAINED
- 3 NEW FENCING ON TOP BEHIND BUS STOP
- 4 SITE BOUNDARY LINE - 11' WIDE - 1' ASPIRE
- 5 DRIVEWAY TO ADJACENT HOUSE
- 6 EXISTING WALLS RETAINED
- 7 ADJACENT PROPERTY
- 8 EXISTING BACK OF LOT WALL WITH DACHED - FENCED ENTRANCE
- 9 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 10 NEW FENCING TO EXISTING FOOTPATH LEVELS
- 11 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 12 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 13 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 14 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 15 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 16 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 17 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 18 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 19 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS
- 20 EXISTING WALLS TO EXISTING ADJACENT FOOTPATH LEVELS

KEY PLAN

Revision	Date	Description
01	16.11.18	Planning



OMI ARCHITECTS
31, Wood Pines Road, Solihull, Birmingham B37 4Q
T: 0121 714 2200
F: 0121 714 2201
E: info@omiarchitects.com
W: www.omiarchitects.com

PROJECT	LOWER ROAD, PRESTWICH				
DRAWING	PROPOSED LOWER ROAD ELEVATION				
DATE	24.07.18	DRAWN BY	KT	SCALE	1:125 @ A1
PROJECT NO.	1401	DWG NO.	L 1400		

REVISION	DATE	DESCRIPTION
01	16.11.18	Planning Issue



KEY PLAN

10.10.18 KEY

1. EXISTING MANURE TRUCKS SECTOR REPAIRED AND PLANNED
2. EXISTING MIDCOWS FARMED AND REPAIRED WHERE NECESSARY
3. NEW EXISTING FARMED BETWEEN NEXT
4. EXISTING FARMED WITH EXISTING 10/10 FARMED BETWEEN NEXT
5. EXISTING FARMED
6. EXISTING FARMED TO DALE ROAD LEVEL, EXISTING FARMED
7. EXISTING FARMED TO DALE ROAD LEVEL, EXISTING FARMED
8. EXISTING FARMED TO DALE ROAD LEVEL, EXISTING FARMED



GALE ROAD
PROPOSED ELEVATION

OMI ARCHITECTS
31, Back Road, Prestwich, Manchester M3 7AG
T: 0161 832 3232
F: 0161 832 3232
www.omiarchitects.com

PROJECT: LOWTHER ROAD, PRESTWICH

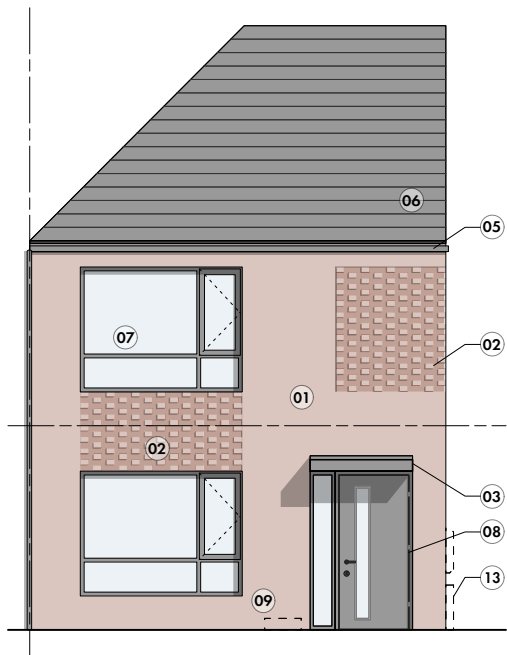
DRAWING: PROPOSED GALE ROAD ELEVATION

DATE: 24.07.18 DRAWN BY: KT SCALE: 1/125 @A1

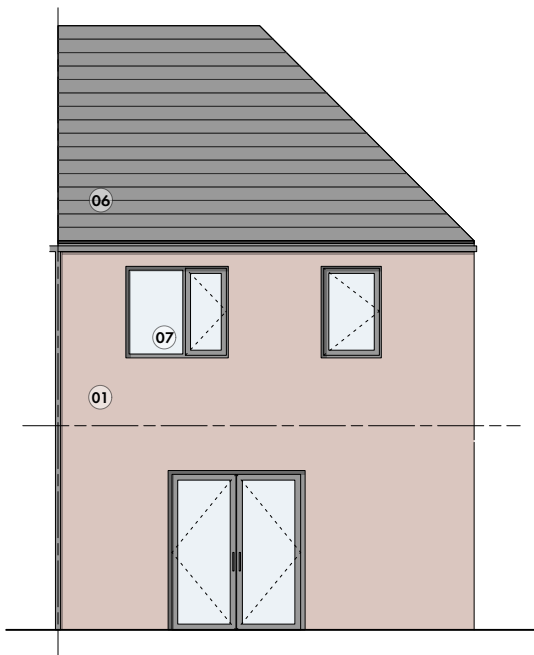
7/18 WJ: 1401 DWG NO: 1.1001



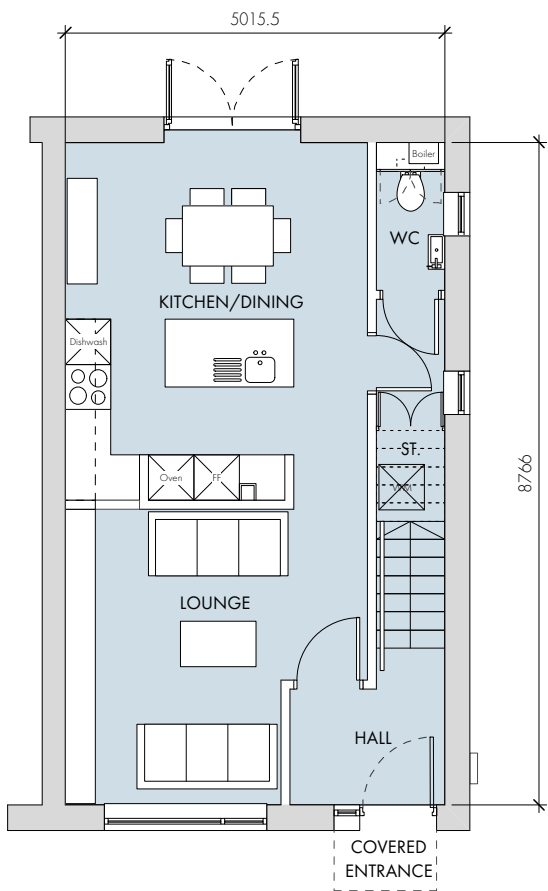
PROPOSED GABLE ELEVATION



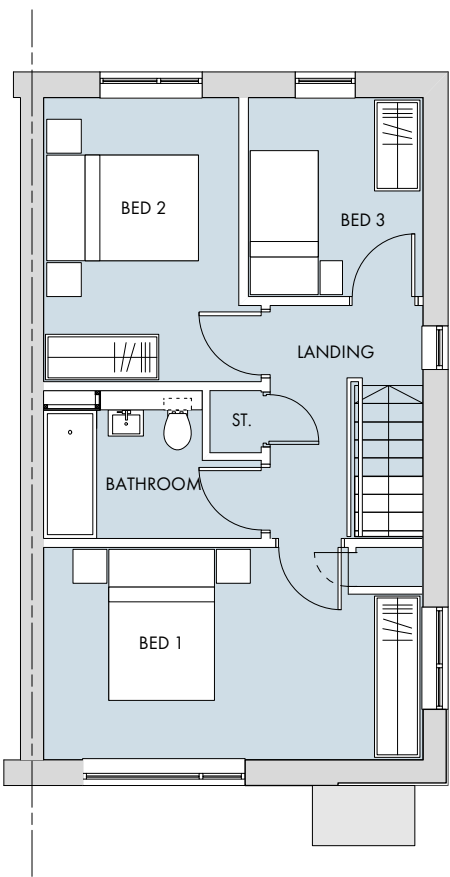
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

REVISION	DATE	DESCRIPTION
01	23.07.18	Initial Issue for Information
02	01.08.18	Pre-App Follow-up Meeting
03	05.10.18	General Updates
04	23.10.18	Canopy and General Updates
05	16.11.18	Planning

KEY

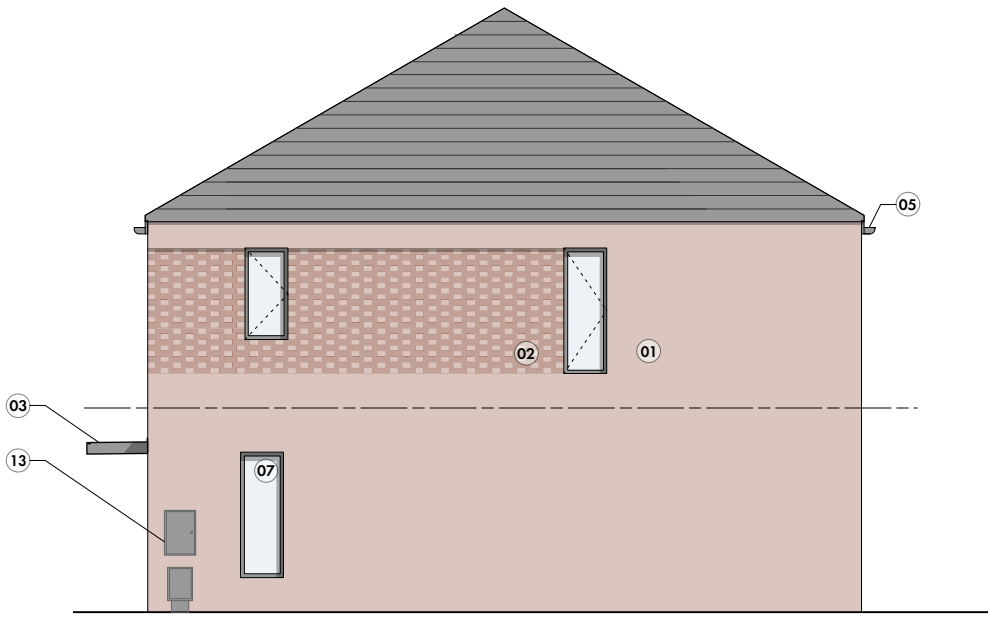
- 01 Facing brickwork (to match existing context - to local authority approval)
- 02 Feature brick detail panel
- 03 Proprietary 'one-piece' GRP door canopy - coloured as windows
- 04 ----
- 05 UPVC Rainwater goods - Anthracite Grey
- 06 Thin profile interlocking concrete slate tiles
- 07 Anthracite coloured UPVC double glazed windows and doors
- 08 Proprietary composit GRP door, coloured to match windows
- 09 Low level part concealed gas meter box, any wall mounted meter boxes located to side of house
- 10 Proprietary continuous linear dry verge trim, coloured to match rainwater goods
- 11 Lockable gate to side access
- 12 Side access to rear of property (shared in one instance)
- 13 High level meter boxes (electricity and water) located to side of house

TYPE B
3b5p END SEMI-DETACHED HOUSE
87 sq.m / 936 sq.ft

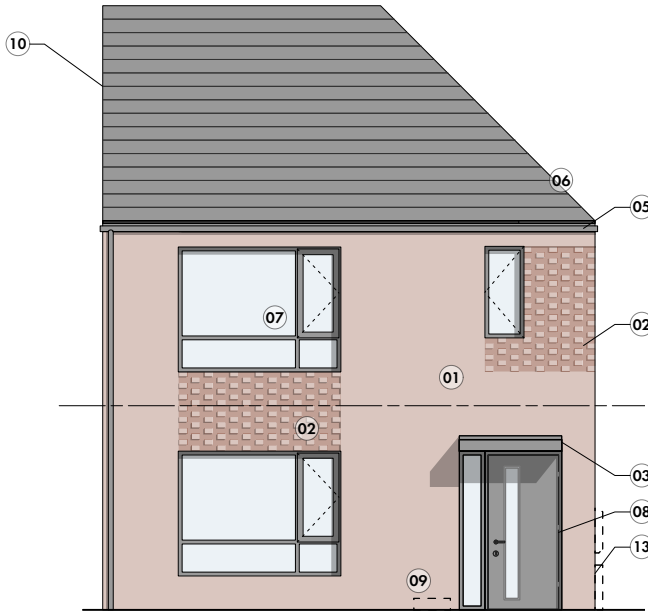
OMI ARCHITECTS

31, Blackfriars Road, Salford, Manchester M3 7AQ
t 44(0)161 832 3242
f 44(0)161 832 3623
e info@omiarchitects.com
w www.omiarchitects.com

PROJECT	LOWER ROAD, PRESTWICH				
DRAWING	HOUSE TYPE: 3B END SEMI				
DATE	02.07.18	DRAWN BY	SJC	SCALE	1:100 @ A3
JOB NO.	1401	DWG.NO.	L 1101		



PROPOSED GABLE ELEVATION



PROPOSED FRONT ELEVATION



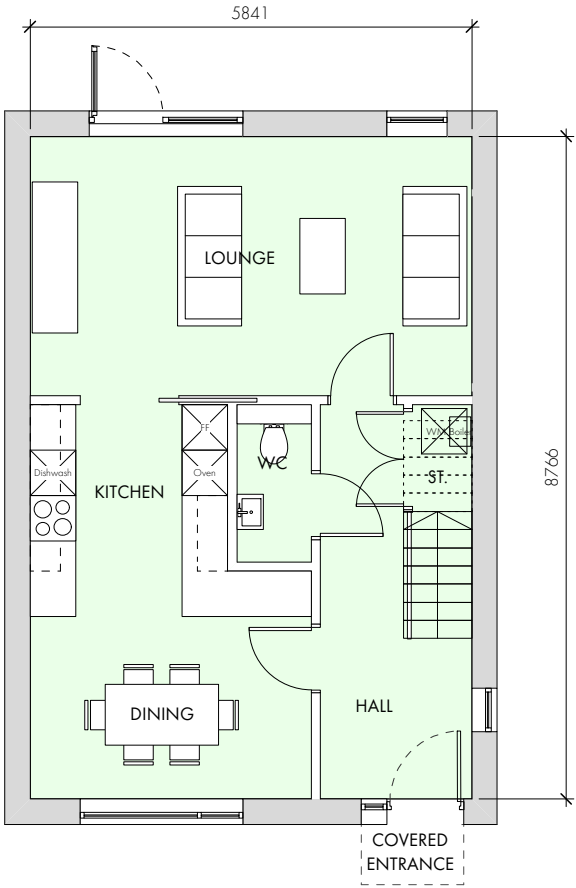
PROPOSED REAR ELEVATION

REVISION	DATE	DESCRIPTION
01	23.07.18	Initial Issue for Information
02	01.08.18	Pre-App Follow-up Meeting
03	05.10.18	Drawing Omitted
04	24.10.18	Drawing Updated & Reinstated
05	16.11.18	Planning

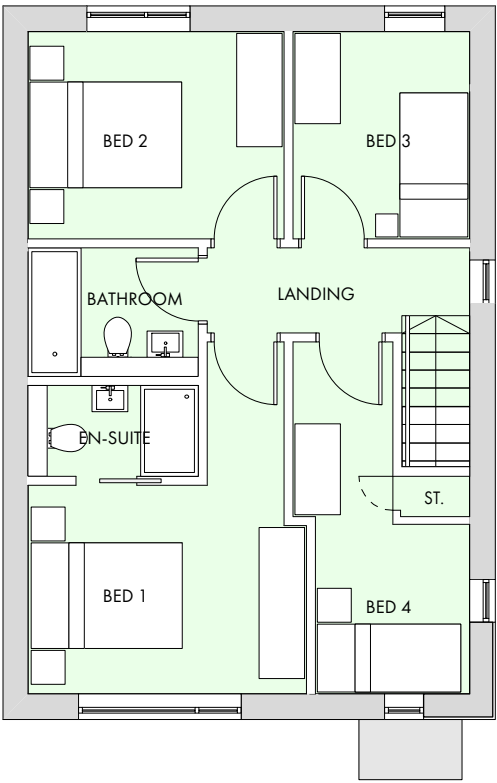
KEY

- 01 Facing brickwork (to match existing context - to local authority approval)
- 02 Feature brick detail panel
- 03 Proprietary 'one-piece' GRP door canopy - coloured as windows
- 04 ----
- 05 UPVC Rainwater goods - Anthracite Grey
- 06 Thin profile interlocking concrete slate tiles
- 07 Anthracite coloured UPVC double glazed windows and doors
- 08 Proprietary composit GRP door, coloured to match windows
- 09 Low level part concealed gas meter box, any wall mounted meter boxes located to side of house
- 10 Proprietary continuous linear dry verge trim, coloured to match rainwater goods
- 11 Lockable gate to side access
- 12 Side access to rear of property (shared in one instance)
- 13 High level meter boxes (electricity and water) located to side of house

For typical external treatment
refer House Type A



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

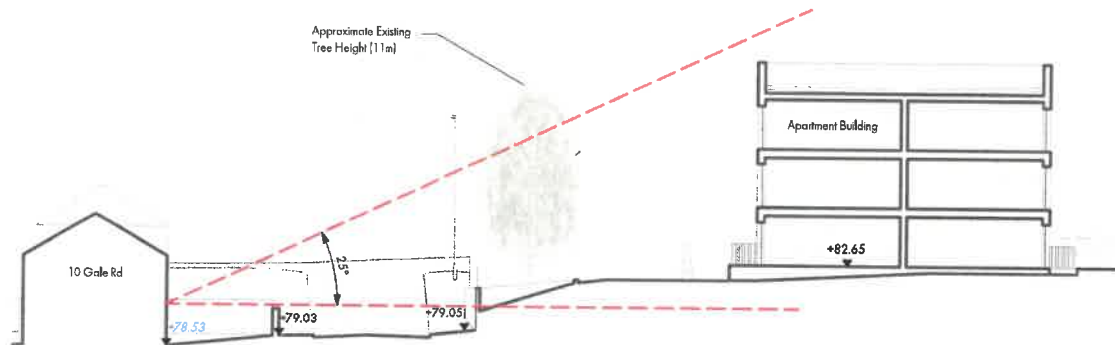
TYPE C
4b6p DETACHED HOUSE
100 sq.m / 1076 sq.ft

OMIARCHITECTS

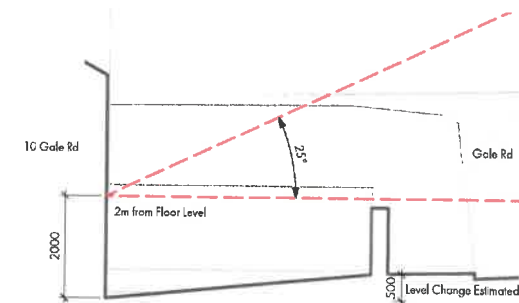
31, Blackfriars Road, Salford, Manchester M3 7AQ

t 44(0)161 832 3242
f 44(0)161 832 3623
e info@omiarchitects.com
w www.omiarchitects.com

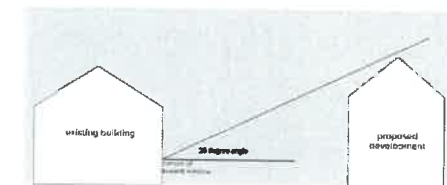
PROJECT	LOWER ROAD, PRESTWICH			
DRAWING	HOUSE TYPE C: 4B DETACHED			
DATE	02.07.18	DRAWN BY	SJC	SCALE 1:100 @ A3
JOB NO.	1401	DWG.NO.	L 1102	



Section - BRE Daylighting Test
1:250



Blow up Section
1:100



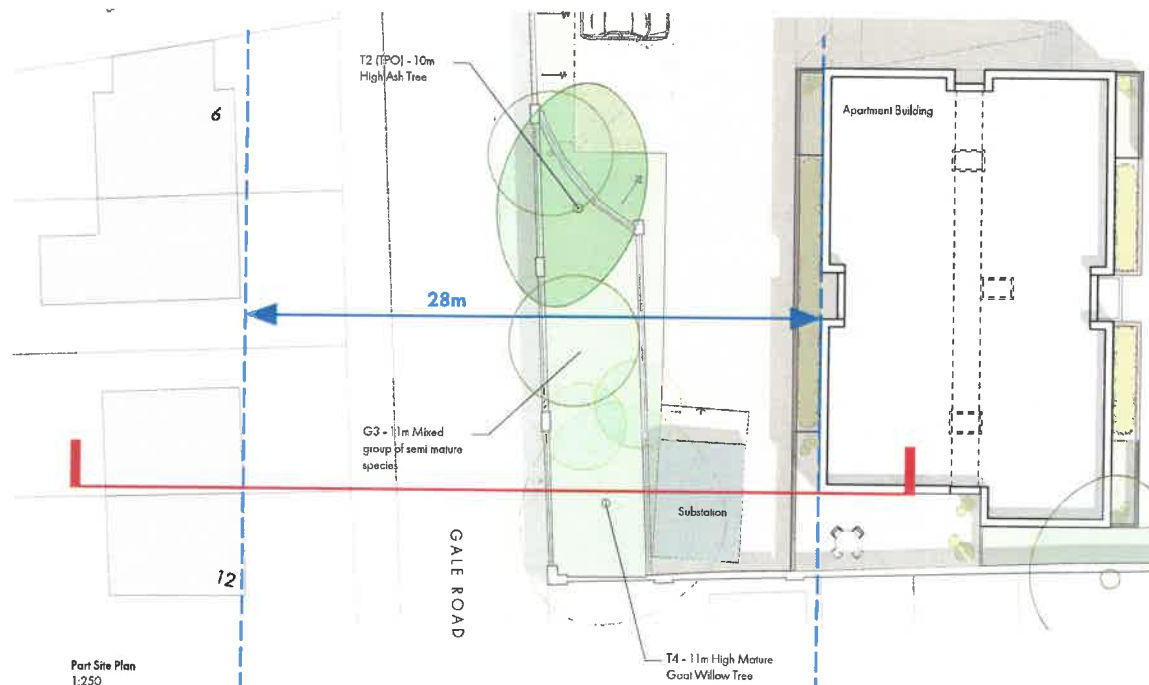
Daylighting Test Diagram: Site layout planning for daylight and sunlight: a guide to good practice (BR209)
NTS

Notes:

All tree heights given are existing - to be read in conjunction with Urban Green Arboricultural Impact Assessment (AIA)

Key:

- Section Line
- +55.55 Level taken from Topographic Survey
- +55.55 No survey data available - level estimated
- ↔ Building Separation Distance



Part Site Plan
1:250



IRWELL VALLEY HOUSING
LOWTHER ROAD, PRESTWICH
1401 SK 016_02
GALE ROAD DAYLIGHTING TEST

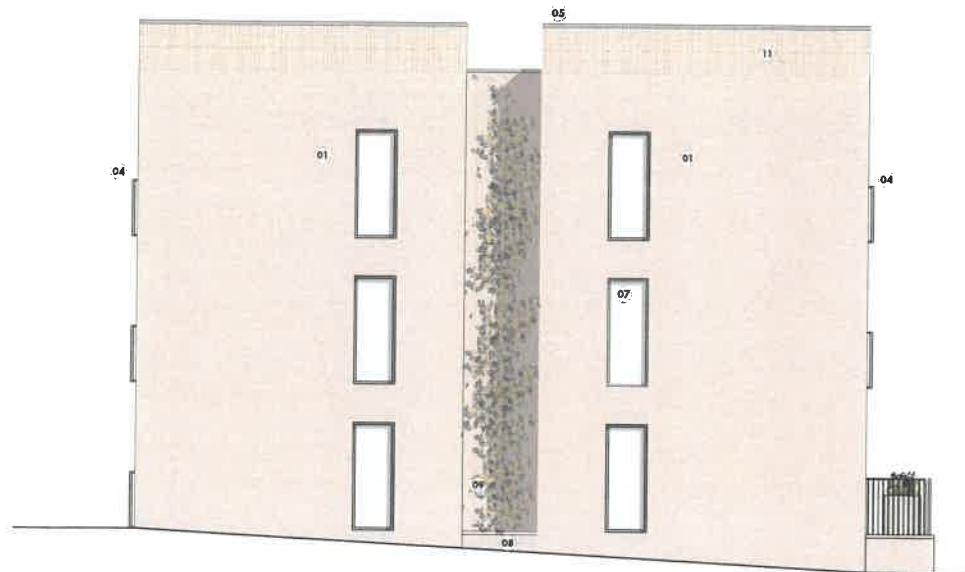
SCALE: Various @ A3
23.01 '19

OMI ARCHITECTS

31, Blackfriars Road, Salford, Manchester M3 7AQ

T 44(0)161 832 3242
F 44(0)161 832 3423
E info@omearchitects.com
W www.omearchitects.com

REVISION	DATE	DESCRIPTION
01	23.07.18	Initial Issue for Information
02	01.08.18	Pre-App Follow-up Meeting
03	05.10.18	General Updates
04	16.11.18	Planning



GABLE ELEVATION

KEY

- 01 Facing brickwork (to match existing context) - to local authority approval
- 02 Feature brick detail panel (contrast stretcher bond brick with 20mm projecting headers in facing brick, type TBC)
- 03 Feature brick panel (20mm recessed contrasting brick, type TBC)
- 04 Juliette Balconies - galvanised steel painted to match windows
- 05 Continuous metal coping coloured to match metal work - Anthracite
- 06 —
- 07 Anthracite coloured UPVC double glazed windows and sliding doors
- 08 Integrated brick planter in recess
- 09 Anchor points and steel wire attached to brick face for climbing plants
- 10 Glazed front door with post boxes integrated into side panel, coloured to match steelwork
- 11 Stacked soldier courses cap parapet in facing brick type
- 12 Balustrading to ground floor terraces beyond - galvanised steel painted to match windows



GALE ROAD ELEVATION

TYPE D
2b3p APARTMENT
55 sq.m / 592 sq.ft

OMI ARCHITECTS

31, Blackthorn Road, Salford, Manchester M3 7AQ
t 44(0)161 832 3642
f 44(0)161 832 3623
e info@omichitects.com
w www.omichitects.com

PROJECT	LOWER ROAD, PRESTWICH			
DRAWING	HOUSE TYPE D: APARTMENT BLOCK ELEVATIONS			
DATE	02.07.18	DRAWN BY	SJC	SCALE 1:100 @ A3
JOB NO.	1401	CHKD BY.	L1104	

Ward: Bury East

Item 07

Applicant: Mr Sohail Afsar

Location: 8 Bolton Street, Bury, BL9 0LQ

Proposal: Change of use from estate agents (Class A2) to private hire taxi booking office (Sui Generis)

Application Ref: 63589/Full

Target Date: 08/02/2019

Recommendation: Approve with Conditions

Description

The application relates to a former estate agent's office (Use Class A2) on the north side of Bolton Street, close to the junction with Silver Street and Market Place. The premises are located within a row of shops and businesses in a mix of uses, situated within a Secondary Shopping Area and Frontage of Bury Town Centre as defined in UDP Policy S2/3. The site is within the Town Centre Conservation Area. On either side of the premises is an estate agent's office and The White Lion Public House and across Bolton Street is a row of shops.

There are parking restrictions in the form of double yellow lines along Bolton Street in front of the site with metered parking bays directly opposite and in surrounding streets, and a public car park 70m away to the west.

The application is a resubmission of planning reference 63294 and seeks a change of use of the ground floor of the estate agents to a private hire radio operated taxi booking office. The first floor would remain as ancillary and used as storage or associated office space.

The proposed floor plan shows that the front of the ground floor would be accommodated by those staffing the booking office with the rear area for staff facilities. The plan states that there would be no public waiting area and the supporting information states that there would be no public access to the premises for customers. The premises would be used as a radio only operated business, whereby customers would ring for a taxi to be picked up at their given location. The business would operate 24 hours with 3 full time staff.

The previous application was refused on highway safety and servicing/parking arrangements as it related to a taxi booking office open to customers for pick up from the premises.

Relevant Planning History

63294 - Change of use from estate agents (Class A2) to private hire taxi booking office (Sui Generis) - Refused 20/11/2018

63295 - 1 no. externally illuminated fascia sign and 1 no. externally illuminated projecting sign - Refused 20/11/2018

63590 - 1 No. externally illuminated fascia sign and 1 no. externally illuminated projecting sign - current application

Publicity

Letters sent to 26 properties on Bolton Street, Silver Street, Market Place, Brandlesholme Road, Hilton Street, Chesham Road, The Rock on 19/12/2019.

Press advert in the Bury Times on 3/1/2019
Site notice posted 6/1/2019.

Letters of objection received from:

8 Castlecroft Mews, Elton Bullitt taxi cars

- There are already enough taxi offices on Bolton Street and is in a bad location with double yellow lines outside;
- Opposite Silver Street where the buses have to turn;
- Will create noise for people living nearby from drunks, those waiting for taxis, slamming car doors;
- Increase in litter;
- If it is granted they would ignore any conditions;
- The previous application was refused due to lack of parking facilities so these factors cannot change as there is still no place to pick up or drop off or parking facilities.

Petition with 19 signatures from Bolton Road Traders:

- Existing businesses need more traders who will attract footfall to the street in trading hours.
- There is already plenty of access to taxi companies in this part of Bury.
- We have one of the most successful tourist attractions in the North West on our street and this is best serviced by retail shops, cafes or restaurants open during trading hours.

Our concern is not only for our own existing businesses, but also for the good of Bolton Street as a thriving, vibrant district of Bury town centre. It would be wrong for this characterful and historic street to become a forgotten backwater. A taxi office does not need to be on the ground level unless it is going to be used as a taxi rank. From experience, we have seen that taxis gather and park outside their offices.

Those who have expressed an interest have been informed of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objection subject to conditions

Licensing Department - No comments received.

Environmental Health - Commercial Section - No response received.

Greater Manchester Police - designforsecurity - Recommend implementation of security measures. To be added as an informative

Environmental Health Pollution Control - No comments to make

Pre-start Conditions - Not relevant

Unitary Development Plan and Policies

NPPF National Planning Policy Framework

Area Bolton Street/Market Place

BY3

S1/1 Shopping in Bury Town Centre

S2/3 Secondary Shopping Areas and Frontages

EN1/2 Townscape and Built Design

EN2/1 Character of Conservation Areas

EN2/2 Conservation Area Control

HT6/2 Pedestrian/Vehicular Conflict

HT2/4 Car Parking and New Development

HT2/8 Taxi and Private Hire Businesses

EC4/1 Small Businesses

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless

there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policy - Policy HT2/8 Taxi and Private Hire Businesses. Proposals for taxi or private hire businesses will be looked upon favourably, providing that the following criteria are satisfied:

- a) adequate car parking facilities are provided for the needs of employees and vehicles used in connection with the business;
- b) it will not have an unacceptable adverse effect on the amenities of neighbouring residents or occupiers;
- c) it will not have an unacceptable adverse effect on the local highway network, in terms of road safety and traffic circulation in particular.

UDP Policy S2/3 - Secondary Shopping Areas and Frontages. Within secondary shopping areas identified in the Borough's town centres, and in the main shopping areas of district centres, the Council will seek to maintain retailing (Class A1) as the predominant land use at ground floor level. Proposals for change of use or redevelopment within these areas will be assessed on their merits and by taking into account the following factors:

- a) the design and appearance of the proposed frontage;
- b) the maintenance or provision of a display window at ground floor level, where appropriate;
- c) access for the mobility impaired, where appropriate and through negotiation with the developer;
- d) whether the proposals will give rise to disturbance or nuisance;

In addition, where a proposal would lead to more than 40% of any identified secondary shopping frontage being in non-retail (Class A1) use, the Council will also take into account the following factors:

- e) the location and prominence of the proposal within the secondary shopping frontage;
- f) the number, distribution, and proximity of other premises in non-retail (Class A1) use or with planning permission for such uses;
- g) the particular nature and character of the use proposed, including the level of activity associated with it.

EN2/1 - Character of Conservation Areas. The Council will take action as appropriate to preserve or enhance the character or appearance of the Borough's Conservation Areas. The Council will be especially concerned with encouraging and, where appropriate, implementing measures to:

- a) retain, replace and restore features of historical and architectural interest;
- b) retain and enhance existing landscape features including trees, parks and gardens;
- c) initiate and promote environmental improvement/enhancement schemes such as landscaping, refurbishment of street furniture, traffic management and pedestrian schemes;
- d) remove dereliction and bring unused land or buildings back into beneficial use;
- e) prepare and promote design guidelines to ensure sympathetic development.

EN2/2 - Conservation Area Control. Development within a Conservation Area will only be acceptable if it preserves or enhances the special character or appearance of the area. In considering proposals for development in Conservation Areas, regard will be had to the following criteria:

- a) the nature of the development in terms of its bulk, height, materials, colour, design and detailing;
- b) the relationship between the proposed development and the architectural and visual qualities of the surrounding area;
- c) where demolition is proposed, the contribution of any proposed new building to the character or appearance of the area as compared to the building to be demolished;
- d) in the case of the re-use of buildings or the introduction of new uses, the impact of the proposal on the character or appearance of the area and the fabric of the existing building.

The main planning issues relate to the impact of the proposed change of use upon the vitality and viability of Bury Town Centre, the character of the conservation area, highway safety and residential amenity.

Impact on the Shopping Centre - The site is within a vibrant part of Bury town centre, close to the historic quarter and contains a variety of retail and non-retail uses such as shops, offices, pubs, cafes and beauty salons. The application premises have been recently vacated by the previous occupier, an estate agents, which did not add anything positive to the streetscape.

As a radio operated business, bookings would be taken by phone. Although there would be no customer footfall to the premises, an active and open frontage would be maintained within the shopping area and a condition that no vinyl or laminate screening be applied to the shop front would be recommended. In addition, an active frontage, albeit a booking office would be preferable to a vacant unit.

It is therefore considered that the proposal would not have a harmful effect upon the vitality and viability of Bury Town Centre and there would be no conflict with UDP Policy S2/3 which whilst seeking to maintain retailing as the predominant land use, recognises that changes of use to non-retail will be assessed on their individual merits, which includes provision of an active shop front. There would also be no alterations to the physical structure or features and design of the frontage, apart from the signage (covered in a separate application ref 63590), and as such the design and appearance of the proposed frontage would comply with part a) of UDP Policy S2/3.

The proposal is therefore considered acceptable and, in terms of shopping policy, complies with the NPPF and UDP Policies S1/1, S2/3.

Character of the Conservation Area - Conservation Policies seek to preserve or enhance the character and appearance of an area to ensure any new development would accord with the special architectural and visual qualities.

There would be no significant external alterations other than replacement signage and lighting (which is subject to a separate advert consent ref 63590), and it is therefore considered that impact on the visual amenity of the area would be negligible.

The use itself would maintain an open shop frontage and as such considered to preserve the character of the Conservation Area in compliance with UDP Policies EN2/1 and EN2/2.

Highways Issues - The premises are located on a main road which have double yellow lines along the length and directly in front of this row of shops. On the opposite side of the road are loading bays and some meter controlled parking bays.

The application is for a radio operated taxi business only and the applicant has indicated on the proposed plans and in their supporting statement that there would be no facilities for customer visiting and pick up. It would be wrong therefore to assume that customers would visit the premises as there would be no access allowed and no facilities provided for customers. Bookings would be taken by telephone only.

The proposed use would therefore not likely generate vehicular movement or parking on the highway in the immediate vicinity of the premises by private hire vehicles and therefore not lead to the carrying out of manoeuvres which would conflict with general traffic and cause highway safety issues.

In terms of parking, this is restricted in front of the premises and along the row. There are parking bays opposite and down nearby side streets, with a public car park located to the west on Bolton Street. Should drivers need to visit the premises for any purpose, they would have to find a suitable place to park and walk to the office. Conditions would be attached to an approval prohibiting taxis from visiting the premises for the purpose of waiting, taking orders or collecting customers and would restrict the use of the office to telephone and radio controlled bookings only. A condition would also be recommended that there be no facilities at the premises for customers in relation to pick ups or

refreshment.

It would also be wrong to assume that taxi drivers would park illegally and any more than normal drivers. It is noted that the parking bays only have restrictions in place for the main daytime period and that on street parking would be available in the evening and at night for parking opposite and in the nearby streets.

Any issue with regard to private hire vehicles waiting on the parking bays or restricted areas would be a matter for the Council's Parking Enforcement or the police.

The Highways Section have raised no objection to the proposed change of use subject to the conditions described above and as such, the proposed development is considered acceptable and would comply with Policy HT2/8 - Taxi and Private Hire Businesses. Proposals.

Residential amenity - The taxi booking office would be located within a row of shops and in a busy town centre location and fronting a main road. A number of the businesses and shops in the vicinity are open and operate at various times of the day, including evenings and night.

As a contained office, with no regular footfall apart from the occasional delivery or driver, there would not be any significant activity associated with the proposed use and the location of the of the booking office is considered to comply with HT2/8 - Taxi and Private Hire Businesses and EN1/2 - Townscape and Built Design.

Design for Security - No objection with the recommendation that security measures be implemented, which will be included as an informative to the applicant.

Response to objectors

- It cannot be assumed that there would be a breach of the recommended conditions. The conditions are reasonable to make the development acceptable and enforceable if breached.
- Whilst there are other taxi booking offices in this area of the town centre, there is not an intense proliferation in a concentrated area and as such considered to be an acceptable location.
- The issues of parking, traffic, residential amenity and character have been assessed in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

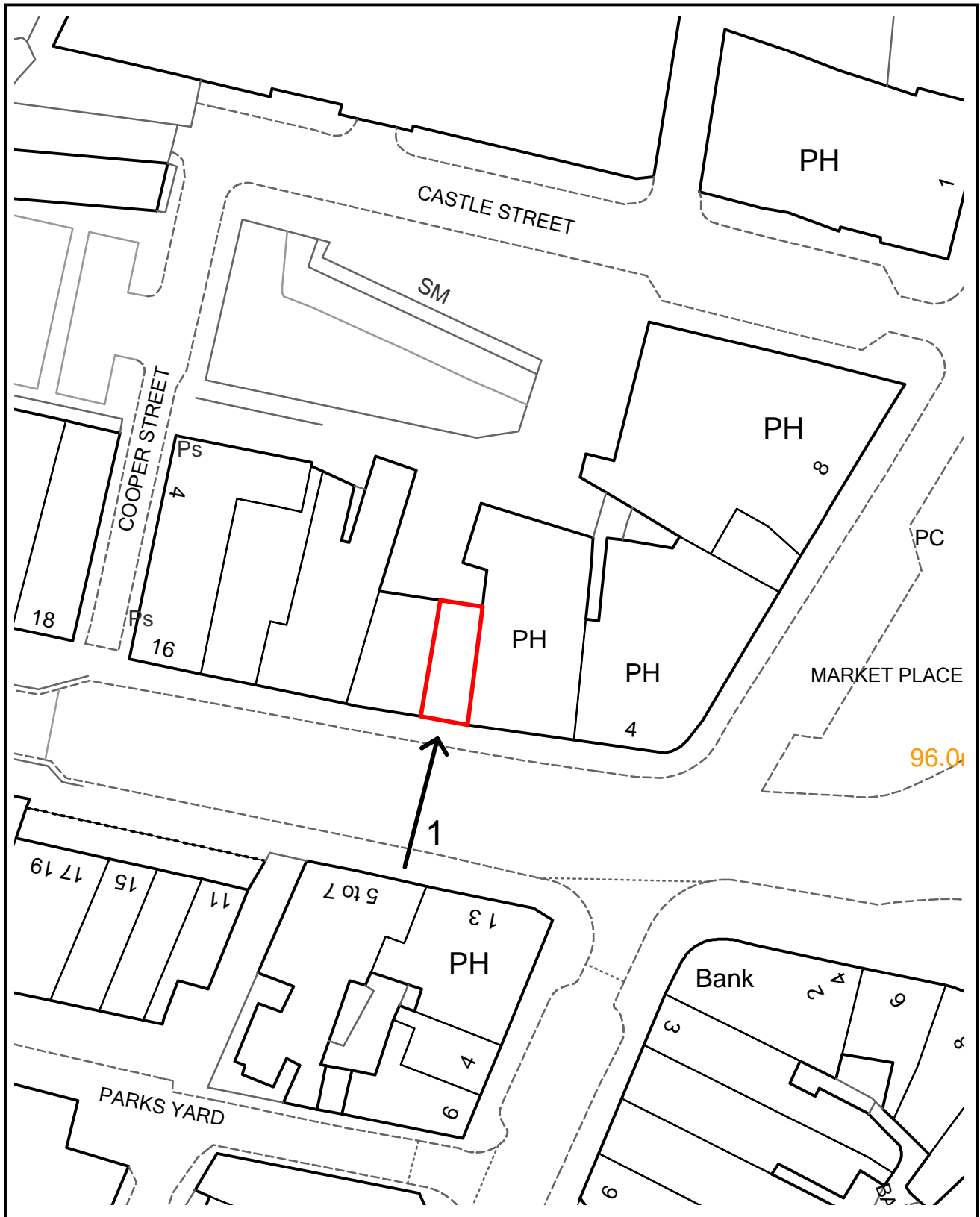
Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings - Proposed layout and elevation plans dwg 2/2 Revision C dated 7/2/19, supporting statement version 2 dated 6/2/19 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No private hire vehicles belonging to the applicant or those belonging to freelance drivers operating through the radio control at the premises, shall visit the office hereby permitted for the purposes of waiting or taking orders and instruction and collecting clients.
Reason. In the interests of residential amenity and highway safety pursuant to UDP Policy HT2/8 Taxi and Private Hire Businesses and EN1/2 - Townscape and Built Design. .
4. The use hereby approved shall be limited solely to telephone and radio controlled bookings. There shall be no facilities at the premises for customers or members of the public in relation to customer pick up, rest and refreshment.
Reason. In the interests of residential amenity and highway safety pursuant to UDP Policy HT2/8 Taxi and Private Hire Businesses and EN1/2 - Townscape and Built Design.
5. There shall be no intercom system at the premises for use by customers or drivers.
Reason. In the interests of residential amenity and highway safety pursuant to UDP Policy HT2/8 Taxi and Private Hire Businesses and EN1/2 - Townscape and Built Design. .
6. The glazing on the shop front shall remain free from any laminate or vinyl screening.
Reason. In the interests of visual amenity and to preserve the character of the Conservation Area pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN/1 - Character of Conservation Areas and EN/2 - Conservation Area Control.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63589

**ADDRESS: 8 Bolton Street
Bury**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.

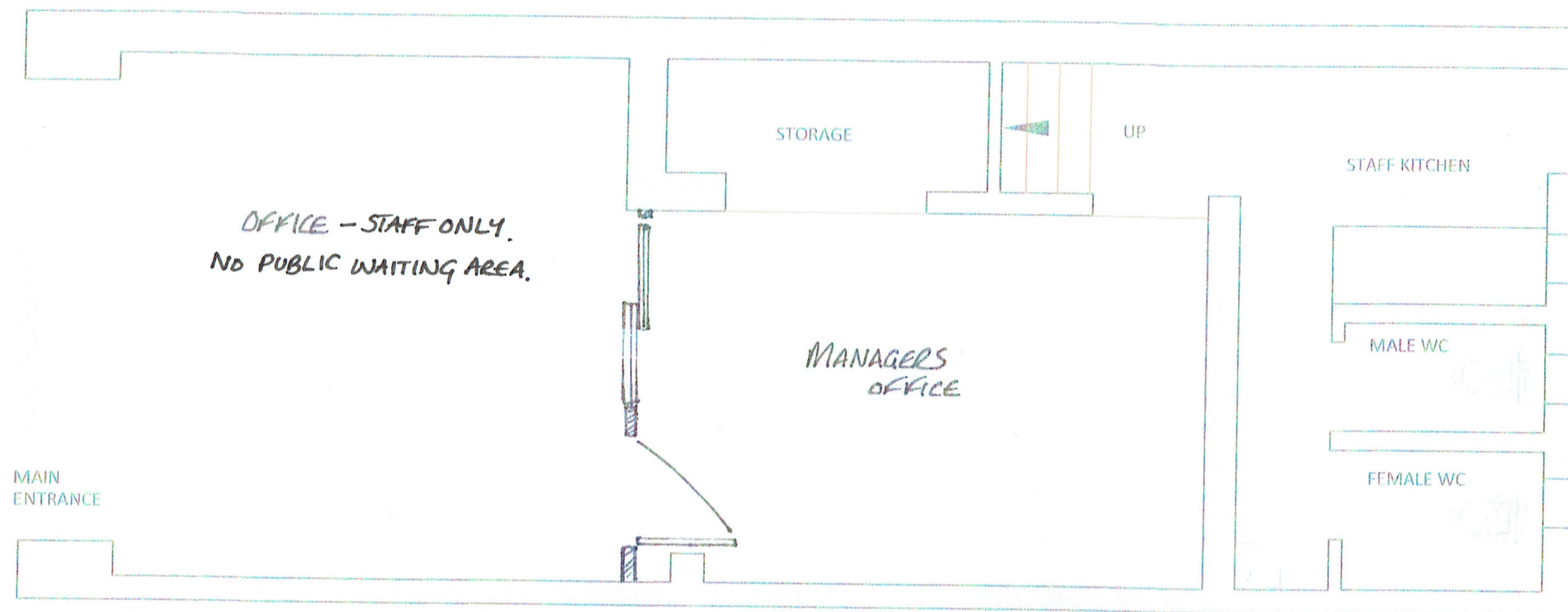


Bury
COUNCIL

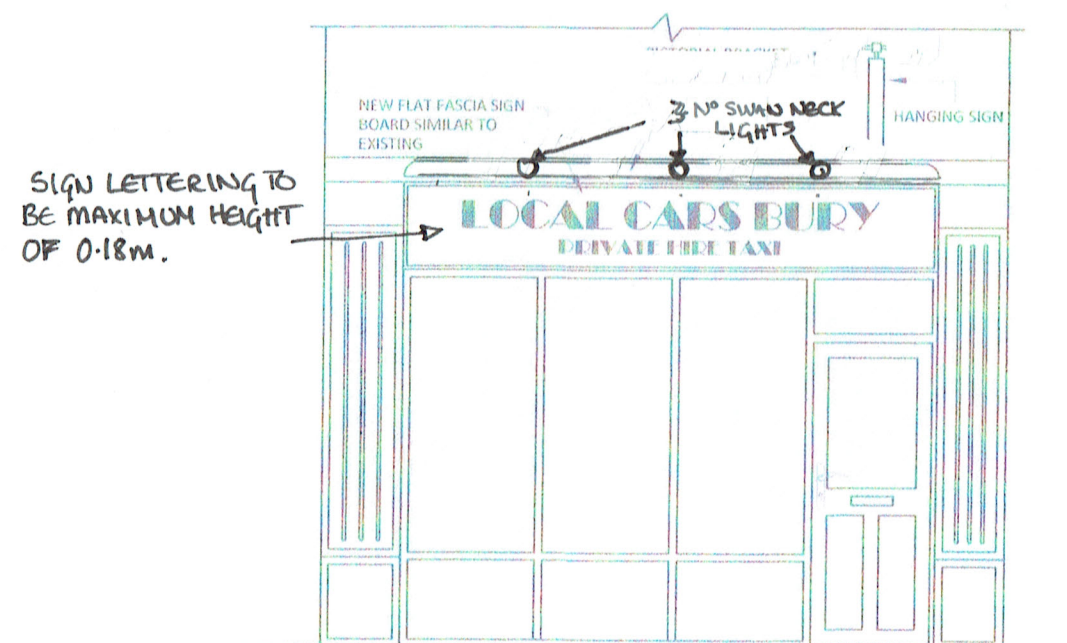
63589

Photo 1

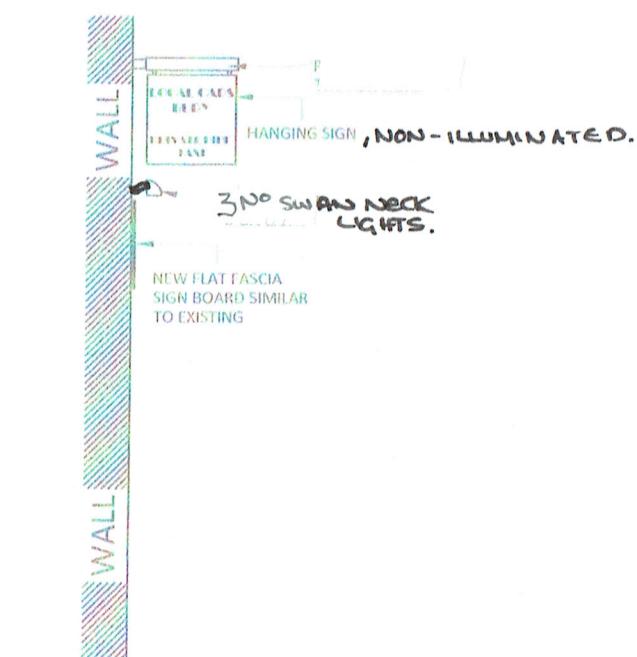




PROPOSED GROUND FLOOR PLAN



PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION

REV	DATE	AMENDMENTS
A.	28/1/19	ANNOTATION.
B.	01/2/19	LIGHTING REDUCTION
C.	07/2/19	LETTERING SIZE

CLIENT	MR SOHAIL AFSAR
DRAWN BY	
DATE	13 SEPTEMBER 2018
SCALE	1:50 @ A3
PROJECT REF	00146
DRAWING No	2/2
TITLE:	PROPOSED CHANGE OF USE FROM (A2) ESTATE AGENT TO (SUI-GENERIS) PRIVATE HIRE TAXI BOOKING OFFICE AT: 8 BOLTON STREET BURY BL9 0LQ